



K P A U L A R C H I T E C T I N C .

2408150-006-001

VIA E-Mail : pskillen@dryden.ca

November 11th, 2024

City of Dryden

Chief Building Official/ Planning and By-law
Dryden, ON

Attention: **Chief Building Official**

Re: McDonald's Restaurant #7027 (Renovation)
520 Government Street, Dryden, Ontario

Re: Revision to SPA Drawings

Dear Pam,

We are writing to advise the Building Planning and By-law department of an amendment proposed at the McDonald's project located at 520 Government Street, Dryden, Ontario, which affects previous plans submitted for site plan approval. A summary of the revised exterior alteration scope is noted as per below, for your review, and consideration.

• **Revisions to Building Expansion/Exterior Building Alteration**

Item 1 Revision: Area of building expansion has been reduced. Refer to Demolition Site Plan Note #6 and Proposed Site Plan Note #28, and Exterior Elevations as shown. New External Cooler/Freezer Walk-In Boxes remain in scope, with slight revisions to their proposed size, as shown on Demolition Site Plan AS1.0 and Proposed Site Plan AS1.1 and Exterior Elevations. Proposed building area revised as shown. Refer to Demolition Site Plan AS1.0 'Project Profile Data' for additional information.

Item 2 Revision: Location and orientation of new proposed blade tower, complete with new signage and led lighting, revised on front elevation, and to be perpendicular to building. Refer to new Proposed Site Plan Note #45, and to revised Exterior Elevations 1/A5.0 and 2/A5.0, as shown.

Item 3 Revision: Exterior Reimage scope reduced.

- a) *Front (North) Elevation existing cladding (partial on East and West Elevations) only to be stripped back to existing plywood sheathing to accommodate installation of new cladding materials. Refer to Proposed Site Plan Note #49 and to Exterior Elevations, as shown, for new extent and finishes.*
- b) *Remainder of building existing cladding (stone base and siding) to remain and be repainted. Refer to revised Exterior Elevations and Exterior Finish Schedule for extent of work and finishes.*
- c) *Existing wood fence boards at rear of the building (serving as roof screen) to be removed and replaced with new to match existing; to be painted to match roof paint finish proposed. Refer to Exterior Elevations 1/A5.3 and 2/A5.3, as shown.*

Item 4 Revision: Scope associated with existing mansard roof reduced. Refer to Demolition Site Plan Note #12 and Note #25, and refer to Exterior Elevations as shown, for extent of work proposed.

Item 5 Revision: Refer to Exterior Elevations for revised barrier free public area door, BDAP door (1&2/A5.0) and new delivery door (1&2 A5.1) locations, as shown.

- **Revisions to Site**

Item 1 Revision: Extent of new concrete Drive Thru pad and detector loop (to replace existing), updated as shown. Refer to Demolition Site Plan, Note #8 and Proposed Site Plan Note #.14 & Note #1, as shown.

Item 2 Revision: Existing Garbage Building and Existing Storage Shed to remain and be repainted. Refer to Demolition Site Plan AS1.0 Note #21 and Note #26, and to Proposed Site Plan AS1.1, Note #7, as shown.

Item 3 Revision: Patio furniture removed from scope. Existing patio furniture to remain. Refer to Site Plans.

Item 4 Revision: New Patio/Sidewalk proposed finish updated; to be new interlocking brick pavers to match existing complete with new concrete curb to match existing. Site Plans revised accordingly. Refer to Demolition Site Plan Note #1 and Proposed Site Plan Notes # 57-58, for extent of work, as shown.

Item 5 Revision: Previously proposed Drive Thru By-Pass Lane removed from scope. Existing Drive Thru configuration to remain. Existing McD pull forward parking spaces (X2) to remain adjacent to existing Drive Thru. Refer to Site Plans.

Item 6 Revision: Existing Pylon Sign- signage pole and foundations to remain. Existing face to be temporarily removed. Arched lens to be cleaned, relamp with led if required, Canadian flag to be added on arch. Refer to Demolition Site Plan AS1.0, Note #20, and Proposed Site Plan, Note #22, as shown.

Item 7 Revision: New guardrail proposed at existing Drive Thru for increased pedestrian safety at drive thru and employee safety at existing pull forward parking locations off kitchen BDAP. Refer to Note #61 on AS1.1 Proposed Site Plan and to Site Details.

Item 8 Revision: Extent of Drive Thru asphalt pavement replacement revised, as shown. Please refer to Demolition Site Plan Note #50, and Proposed Site Plan Note #62.

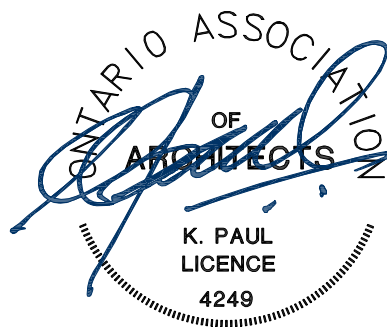
Should you require any further information, please feel free to contact our office.

Yours truly,

Per:
K PAUL ARCHITECT

Kamal Paul
CEO

cc:
Steve Chow



McDonald's Restaurants of Canada Ltd

Joy Roque
Project Manager
via email: jroque@kpaularchitect.com

via email: steve.chow@ca.mcd.com

PROJECT PROFILE DATA		
	EXISTING	PROPOSED
ZONING:	CH (HIGHWAY COMMERCIAL)	CH (HIGHWAY COMMERCIAL)
LEGAL DESCRIPTION:	LOTS #4 AND 5, PLAN M-398 AND PART OF BLOCK 'A', PLAN M-276, CITY OF DRYDEN, DISTRICT OF KENORA	LOTS #4 AND 5, PLAN M-398 AND PART OF BLOCK 'A', PLAN M-276, CITY OF DRYDEN, DISTRICT OF KENORA
LOT AREA:	3718.5 SQ. M. 40,025.4 SQ. FT. 0.3718 HA	3718.5 SQ. M. 40,025.9 SQ. FT. 0.3718 HA
BUILDING 'A' COVERAGE:	9.4 %	10.7 %
SETBACKS:	EXISTING FROM PROPERTY LINE: FRONT YARD SETBACK: 14.0 M. 45'-10 3/4" FT. INT. SIDE YARD SETBACK: 4.8 M. 15'-10 7/8" FT. EXT. SIDE YARD SETBACK: 17.2 M. 56'-6 5/8" FT. REAR YARD SETBACK: 45.3 M. 148'-6 5/8" FT.	REQUIRED: FRONT YARD SETBACK: 15.0 M. 49'-2 1/2" FT. INT. SIDE YARD SETBACK: 6.00 M. 19'-8 1/4" FT. EXT. SIDE YARD SETBACK: 15.0 M. 49'-2 1/2" FT. REAR YARD SETBACK: 7.5 M. 24'-7 1/4" FT. PROPOSED: EXIST. FT. EXIST. FT. EXIST. FT. EXIST. FT.
BUILDING CODE ANALYSIS:	GROUP A2 MAJOR OCCUPANCY: EXISTING BUILDING HEIGHT: (US DECK) NUMBER OF STREETS: 2 STREET BUILDING CLASSIFICATION: O.B.C. 3.2.2.28	GROUP A2 MAJOR OCCUPANCY: EXISTING BUILDING HEIGHT: (US DECK) NUMBER OF STREETS: 2 STREET BUILDING CLASSIFICATION: O.B.C. 3.2.2.28
BUILDING AREA (TOTAL):	BLDG. 'A' MCDONALD'S REST.: 348.06 SQ. M. 3,746.5 SQ. FT. BLDG. 'B' GARAGE ENCLOSURE: 36.1 SQ. M. 389.1 SQ. FT. BLDG. 'C' SHED: 45.9 SQ. M. 494.8 SQ. FT.	397.66 SQ. M. 4,279.3 SQ. FT. EXISTING SQ. M. EXISTING SQ. FT. EXISTING SQ. M. EXISTING SQ. FT.
PARKING:	BY-LAW REQUIREMENTS:	PARKING AISLE: MIN. 6.0m FOR 90deg PARKING (SEC.3.15.3) PARKING STALL: 3.0m X 6.2m (SEC. 3.14.3) HC STALL: 4.0m X 6.2m (SEC. 3.15.6) PARKING STALL COUNT: 1 STALL PER 20 sq. m (SEC.3.15.8) HANDICAPPED: FOR 4 - 25 REGULAR STALL = 1 HC (SEC.3.15.9)
PARKING REQUIRED:	EXIST.	20 AT 1.0 STALLS PER 20 SQ. M.
PARKING PROVIDED:	39	
HANDICAP STALLS REQUIRED:	EXIST.	1
HANDICAP STALLS PROVIDED:	EXIST.	2
LANDSCAPE:	ESTIMATED LANDSCAPE AREA: 841.0 SQ. M. 9,052.5 SQ. FT. 22.6% ESTIMATED ASPHALT PAVED: 2447.29 SQ. M. 26,342.5 SQ. FT. 65.8%	811.9 SQ. M. 8,739.3 SQ. FT. 21.8% 2345.9 SQ. M. 25,251.1 SQ. FT. 63.0%

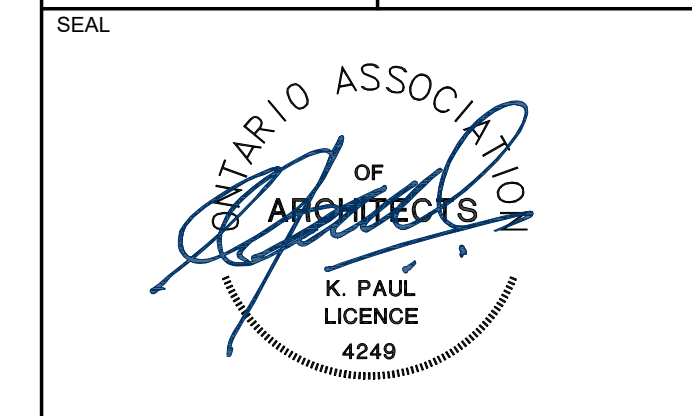
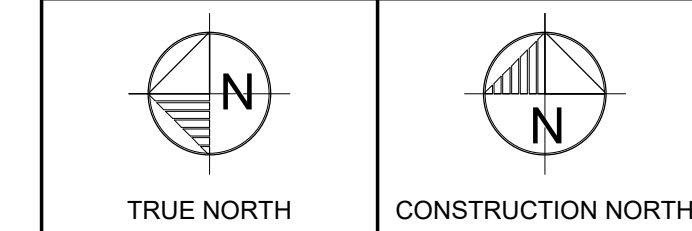
GREY LINE WEIGHT INDICATES AN EXISTING SITE CONDITION, NOT IN SCOPE OF WORK.

DEMOLITION SITE PLAN NOTES

- 1 CROSS HATCH INDICATES EXISTING BRICK INTERLOCKING PAVERS AND CONCRETE CURBS TO REMAIN. REMOVE AFFECTED PAVERS WHICH ARE NOT ALIGNED RE-GRADE AND COMPACT THE BASE AND REINSTALL PAVERS BY ADDING SAND BEDDING AND COMPACT AGAIN. ENSURE ALL PAVERS ARE ALIGNED WITH NO GRADE DIFFERENCE. CONTRACTOR TO SITE VERIFY EXTENT AND COORDINATE WITH MCD AND OWNER OPERATOR.
- 2 ALL EXISTING CATCH BASINS TO REMAIN ON SITE.
- 3 EXISTING GARBAGE/WASTE BINS TO BE RELOCATED INTO EXISTING GARBAGE BUILDING. REFER TO NEW PROPOSED SITE PLAN.
- 4 EXISTING PATIO FURNITURE (X5 EXISTING BENCHES WITH SEATING) ON SITE TO REMAIN. DE-INSTALL/REINSTALL AS REQUIRED TO ACCOMMODATE HIGH BEING DONE AT BRICK INTERLOCKING PAVERS.
- 5 EXISTING LANDSCAPING TO REMAIN.
- 6 CROSS HATCH INDICATES PORTION OF AREA OF BUILDING EXPANSION. SITE VERIFY. EXCAVATE DOWN AND MAKE READY TO INSTALL NEW FOUNDATION AND CONCRETE SLAB. REFER TO STRUCTURAL DRAWINGS.
- 6a CROSS-HATCH INDICATES PORTION OF AREA OF NEW INTERLOCKING PAVEMENT SIDEWALK. SAWCUT EXISTING ASPHALT. EXCAVATE DOWN 12" AND MAKE READY TO INSTALL NEW CONCRETE SLAB. REFER TO PROPOSED SITE PLAN AND SITE DETAILS.
- 7 ALL EXISTING BOLLARDS ON SITE TO REMAIN, UNLESS SPECIFIED OTHERWISE. ALL EXISTING AND ALL NEW BOLLARDS ARE TO RECEIVE NEW BOLLARD COVERS TO MATCH MCDONALD'S STANDARDS. REFER TO NEW PROPOSED SITE PLAN AND SITE DETAILS.
- 8 SAWCUT EXISTING ASPHALT/CONCRETE PAD AND REMOVE. EXCAVATE DOWN 12" TO ACCOMMODATE THE INSTALLATION OF NEW CONCRETE DRIVE-THRU PAD AND DETECTOR LOOP TO REPLACE EXISTING. REFER TO NEW PROPOSED SITE PLAN AND SITE DETAILS.
- 9 EXISTING LOT LIGHT LAMP POLE TO REMAIN. HEAD TO BE REPLACED WITH NEW ALONG WITH NEW LED BULB. REFER TO ELECTRICAL SITE PLAN.
- 10 EXISTING FIRE HYDRANT ON SITE TO REMAIN.
- 11 EXISTING DRIVE THRU EQUIPMENT MENUS BOARDS PRE-SELL SIGNAGE TO REMAIN (TYP)
- 12 EXISTING MANSARD ROOF OVERHANG (AT FRONT ELEVATIONS INDICATED) TO BE DEMOLISHED & DISPOSED OF. REFER TO NEW PROPOSED SITE PLAN & EXTERIOR ELEVATIONS.
- 13 APPROXIMATE LOCATION OF EXISTING TRASH BIN TO BE SALVAGED AND RELOCATED. REFER TO NEW PROPOSED SITE PLAN.
- 14 EXISTING BUILDING SIGNAGE/ WHITE METAL FINSLIGHTING AT MANSARD ROOF TO BE REMOVED AND DISPOSED OF. REPLACE WITH NEW SIGNAGE. REFER TO NEW PROPOSED SITE PLANS AND EXTERIOR ELEVATIONS.
- 15 EXISTING PARKING LOT ASPHALT, INCLUDING EXISTING DRIVE-THRU, TO BE REMOVED. COMPLETELY DOWN TO GRAVEL BASE. RE-GRADE LOW SPOTS AND RE-COMPACT AS REQUIRED TO MAKE READY FOR NEW ASPHALT. REFER TO NEW PROPOSED SITE PLAN AND SITE DETAILS.
- 16 EXISTING EXTERIOR COOLER CONCRETE SLAB ON GRADE AND PERIMETER FOOTING TO BE COMPLETELY REMOVED AND DISPOSED. MAKE READY TO INSTALL NEW FOOTING/ NEW CONCRETE SLAB FOR NEW WALK-IN BOX.
- 17 EXISTING SET BACK TO REMAIN TYP.
- 18 APPROXIMATE LOCATION OF EXISTING TRASH BIN TO REMAIN.
- 19 EXISTING PEDESTRIAN RAMP AND SIDEWALK TO BE DEMOLISHED AND REPLACED WITH NEW AODA COMPLIANT BARRIER FREE RAMP. REFER TO NEW PROPOSED SITE PLANS AND SITE DETAILS.
- 20 EXISTING Pylon SIGNAGE POLE AND FOUNDATIONS TO REMAIN. EXISTING FACE TO BE TEMPORARILY REMOVED. ARCH LENS TO BE CLEANED. RELAMP WITH LED IF REQUIRED. ADD CANADIAN FLAG ON ARCH. REFER TO ELECTRICAL DRAWINGS. CONTRACTOR TO COORDINATE AS REQUIRED.
- 21 EXISTING EXTERIOR GARBAGE SHED TO REMAIN. EXISTING EXTERIOR CLADDING/ SLOPED METAL ROOF TO REMAIN AND PAINTED TO MATCH MAIN BUILDING. REFER TO NEW PROPOSED SITE PLAN.
- 22 EXISTING LANDSCAPING IN AREA TO BE REMOVED TO ACCOMMODATE NEW ASPHALT PAVING/ NEW BRICK INTERLOCKING PAVEMENT SIDEWALK. REFER TO NEW PROPOSED SITE PLANS.
- 23 EXISTING INTERLOCKING PAVERS, ASPHALT AND CONCRETE CURB TO BE DEMOLISHED AND REPLACED WITH NEW INTERLOCKING PAVERS AND CONCRETE CURB TO MATCH EXISTING. REFER TO NEW PROPOSED SITE PLAN AND DETAILS.
- 24 EXISTING BOLLARD TO BE REMOVED AND DISPOSED OF.
- 25 EXISTING MANSARD ROOF OVERHANG TO REMAIN. REMOVE AND DEMOLISH WHITE METAL FINSLIGHTING. PATCH AND REPAIR TO ACCEPT NEW PAINT FINISH. REFER TO EXTERIOR ELEVATIONS.
- 26 EXISTING EXTERIOR STORAGE SHED TO REMAIN. EXISTING EXTERIOR CLADDING/ SLOPED METAL ROOF TO REMAIN AND PAINTED TO MATCH MAIN BUILDING. REFER TO NEW PROPOSED SITE PLAN.
- 27 EDGE OF CURB TO REMAIN. TYP. REFER TO EXTERIOR ELEVATIONS AND NEW PROPOSED SITE PLAN.
- 28 LINE OF BUILDING ADJACENT EXTERIOR WALL. REFER TO EXTERIOR ELEVATIONS AND NEW PROPOSED SITE PLAN.
- 29 EXISTING CONCRETE PAD TO REMAIN AS IS.
- 30 EXISTING ELECTRICAL BOX TO REMAIN AS IS.
- 31 EXISTING DIRECTIONAL LOT SIGNAGE TO REMAIN. REMOVE EXISTING FACES AND DISPOSE. MAKE READY TO RECEIVE NEW FACES.
- 32 EXISTING HEIGHT RESTRICTION BAR TO REMAIN. ADJUST DIRECTION/REPAIR AS REQUIRED. REFER TO NEW PROPOSED SITE PLAN.
- 33 EXISTING ASPHALT SURFACE TO REMAIN AS IS. COORDINATE EXACT LOCATION OF TRANSITION BETWEEN EXISTING AND NEW ASPHALT ON SITE.
- 34 EXISTING SHRUBS/ TREES ON PROPERTY TO REMAIN AS IS.
- 35 APPROXIMATE LOCATION OF GAS METER TO REMAIN. PROTECT DURING ENTIRE SCOPE OF WORK AND DURING PAINTING OF EXTERIOR BUILDING FINISHES.
- 36 EXISTING CURBSIDE PARKING SIGNAGE (X4) TO BE RELOCATED. REFER TO NEW PROPOSED SITE PLAN.
- 37 CITY OF DRYDEN STREET WIDENING DESIGNATION PLAN M-398. REFER TO TOPOGRAPHIC SURVEY.
- 38 EXISTING PROPERTY LINE TO REMAIN AS IS. TYP.
- 39 EXISTING MAIN TRANSFORMER TO REMAIN AS IS.
- 40 MAINTAIN ALL ELECTRICAL LINES AND CONDUIT THAT FEED THIS LOCATION TO SERVE DRIVE-THRU MENUS/ SPEAKER/ PRE-SELL DETECTOR LOOP AND TO BE PROTECTED AT ALL TIMES DURING CONSTRUCTION. REFER TO ELECTRICAL DRAWINGS.
- 41 APPROXIMATE LOCATION OF EXISTING OVERHEAD OH LINE TO BE COMPLETELY PROTECTED DURING CONSTRUCTION. REFER TO ELECTRICAL DRAWINGS.
- 42 APPROXIMATE LOCATION OF UNDERGROUND UTILITY LINE TO BE COMPLETELY PROTECTED DURING CONSTRUCTION. REFER TO ELECTRICAL DRAWINGS.
- 43 EXISTING RECEIVING DOOR ENTRANCE TO BE DEMOLISHED/ DISPOSED OF AND BLOCKED. REFER TO NEW PROPOSED SITE PLAN AND NEW FLOOR PLAN FOR NEW LAYOUT.
- 44 EXISTING ACCESS LADDER TO REMAIN. REFER TO EXTERIOR ELEVATIONS.
- 45 EXISTING BARRIER FREE ENTRANCE DOOR TO BE DEMOLISHED/ DISPOSED OF AND BLOCKED. REFER TO NEW PROPOSED SITE PLAN AND NEW FLOOR PLAN FOR NEW LAYOUT.
- 46 PROVIDE NEW OPENING IN EXTERIOR WALL TO ACCOMMODATE NEW RECEIVING DOOR ENTRANCE. REFER TO NEW PROPOSED SITE PLAN AND NEW FLOOR PLAN FOR NEW LAYOUT.
- 47 EXISTING WINDOW SILL TO BE REMOVED AND DEMOLISHED IN ORDER TO ACCOMMODATE NEW BARRIER FREE DOOR ENTRANCE. REFER TO NEW PROPOSED SITE PLAN AND NEW FLOOR PLAN FOR NEW LAYOUT.
- 48 EXISTING VESTIBULE ENTRANCE DOOR TO BE DEMOLISHED/ DISPOSED OF AND BLOCKED. REFER TO NEW PROPOSED SITE PLAN AND NEW FLOOR PLAN FOR NEW LAYOUT.
- 49 EXISTING WINDOW SILL TO BE REMOVED AND DEMOLISHED IN ORDER TO ACCOMMODATE NEW BDAP DOOR ENTRANCE. REFER TO NEW PROPOSED SITE PLAN AND NEW FLOOR PLAN FOR NEW LAYOUT.
- 50 LINE DENOTES EXTENT OF EXISTING ASPHALT TO BE REMOVED AND REPLACED WITH NEW AT DRIVE THRU. REFER TO PROPOSED SITE PLAN.

ISSUE TABLE		
NO.	DATE (MM-DD-YY)	DESCRIPTION
01	11-11-24	ISSUED FOR DEVELOPMENT PERMIT

REVISIONS	



THE CONTRACTOR WILL CHECK AND VERIFY DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO THE DESIGNER AND THE DESIGN PROFESSIONAL WHOSE SEAL IS AFFIXED TO THIS DRAWING. DO NOT SCALE THE DRAWINGS.

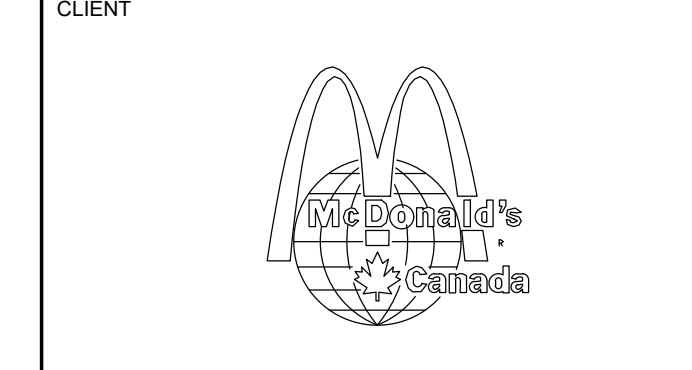
THIS DRAWING WILL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR CONSTRUCTION BY THE DESIGN PROFESSIONAL WHOSE SEAL IS AFFIXED TO THIS DRAWING AND WHOSE SIGNATURE IS BELOW.

ISSUED FOR CONSTRUCTION _____ DATE _____

DIMENSIONS AND CONDITIONS TO BE VERIFIED ON THE PREMISES

K. PAUL ARCHITECT INC.
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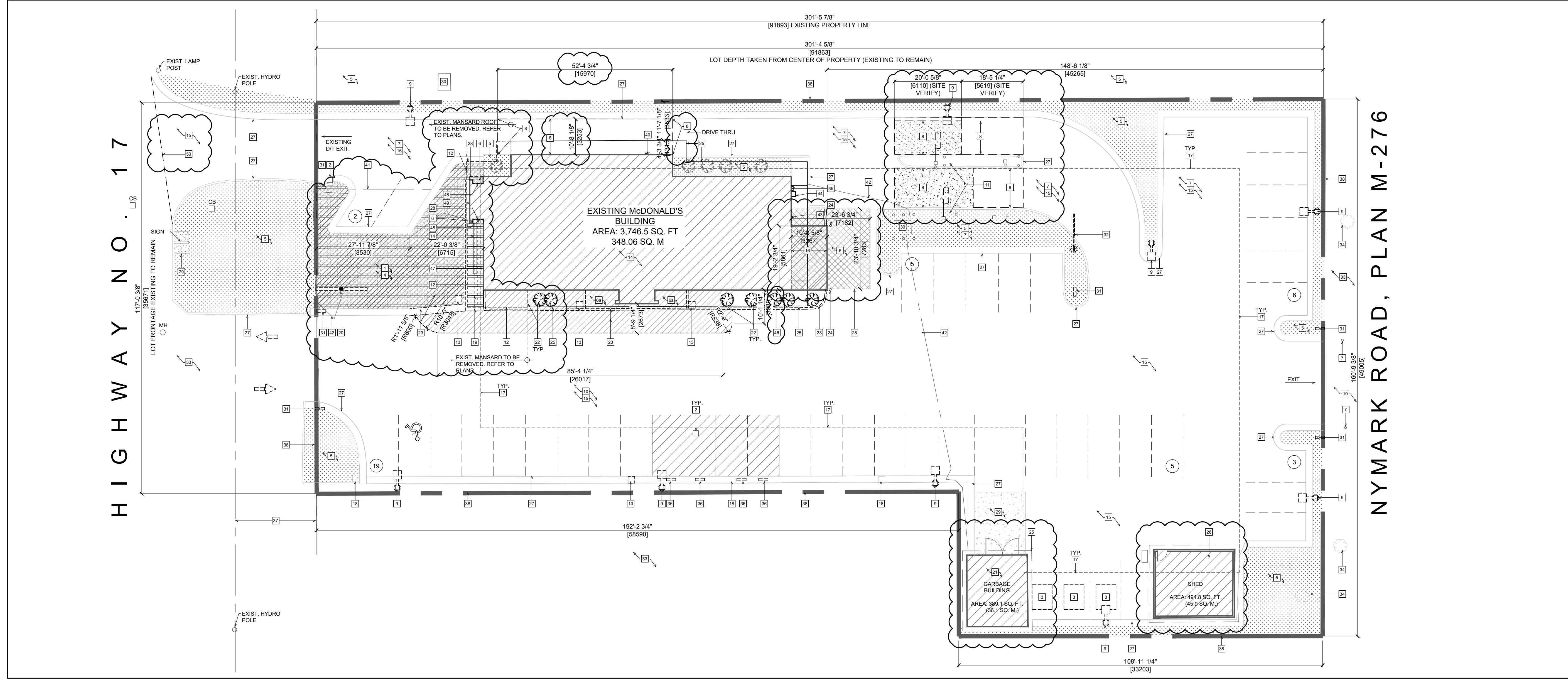


STORE TYPE
RENOVATION AND ADDITION (4279.3 SQ.FT.)
NAT. #7027

PROJECT LOCATION
520 GOVERNMENT STREET
DRYDEN, ONTARIO

DRAWING TITLE
DEMO SITE PLAN

DRAWN	KI	CHECKED	KI	PV	JR
SCALE	AS NOTED	DATE	NOVEMBER 2024		
RPA PROJECT NO.	2408150	DRAWING NO.	AS1.0		



1 EXISTING SITE PLAN - DEMO SITE PLAN
SCALE: 1/16" = 1'-0"

GENERAL NOTE:

CARRY \$25,000 CASH ALLOWANCE FOR NEW LANDSCAPE. TO BE COORDINATED WITH RESTAURANT OWNER.

GREY LINE WEIGHT INDICATES AN EXISTING SITE CONDITION. NOT IN SCOPE OF WORK.

PROPOSED SITE PLAN NOTES

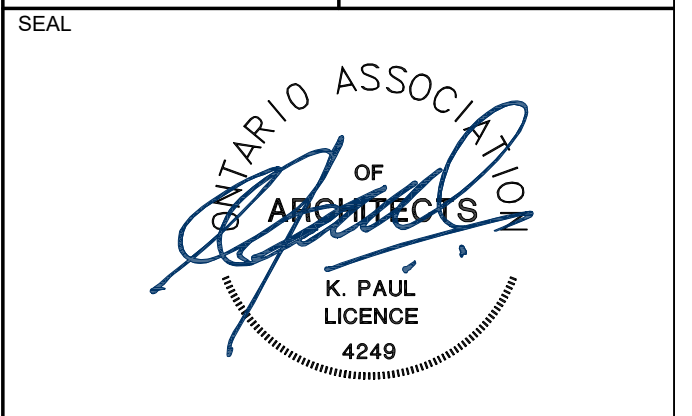
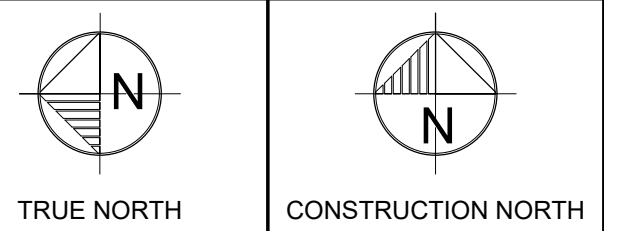
1	NEW PAVEMENT MARKING. REFER TO SITE DETAILS.	22	REINSTALL EXISTING PYLON SIGN FACE AFTER ARCH LENS CLEANED. RELAMP WITH LED IF REQUIRED. ADD CANADIAN FLAG ON ARCH. REFER TO ELECTRICAL DRAWINGS. CONTRACTOR TO COORDINATE AS REQUIRED.	44	MAINTAIN ALL ELECTRICAL LINES AND CONDUIT THAT FEED THIS LOCATION TO SERVE DRIVE-THRU MENUS/ SPEAKER/ PRE-SELL TO BE PROTECTED AT ALL TIMES DURING CONSTRUCTION. REFER TO ELECTRICAL DRAWINGS.
2	NEW EXTERIOR BUILDING SIGNAGE. REFER TO EXTERIOR ELEVATIONS.	23	PARKING LOT LIGHT POLE TO REMAIN. REPLACE HEAD WITH NEW. AND UPGRADE LIGHT FIXTURE TO NEW LED. REFER TO ELECTRICAL SITE PLAN.	45	NEW BLADE TOWER C/W ALPOLIC ACM PANEL SYSTEM AND LED PARAPET LIGHTING. REFER TO EXTERIOR ELEVATIONS.
3	NEW BARRIER FREE ENTRANCE. REFER TO NEW FLOOR PLAN AND EXTERIOR ELEVATIONS.	24	EXISTING ACCESS LADDER TO REMAIN.	46	NEW EXTERIOR LIGHTING FIXTURE. REFER TO EXTERIOR ELEVATIONS.
4	NEW BOLLARD. ALL NEW BOLLARDS ARE TO RECEIVE NEW BOLLARD COVERS TO MATCH MCDONALD'S STANDARDS. REFER TO DETAILS.	25	EXISTING GAS METER TO REMAIN.	47	EXISTING SET BACK TO REMAIN TYP.
5	EXISTING FIRE HYDRANT ON SITE TO REMAIN.	26	RELOCATED GARBAGE BINS	48	EXISTING PROPERTY LINE TO REMAIN.
6	NEW BARRIER FREE/ACCESSIBLE CURB RAMP COMPLETE WITH TACTILE WALKING SURFACE TO BE ADA COMPLIANT. REFER TO ARCHITECTURAL DETAILS.	27	EDGE OF EXISTING CONCRETE CURB TO REMAIN.	49	NEW EXTERIOR BUILDING/PARAPET CLADDING. REFER TO PLANS AND EXTERIOR ELEVATIONS. FOR EXTENTS AND FINISH.
7	EXISTING EXTERIOR GARBAGE SHED/ STORAGE SHED TO REMAIN. EXISTING EXTERIOR CLADDING/ SLOPED METAL ROOF TO REMAIN AND PAINTED TO MATCH MAIN BUILDING. REFER TO SITE DETAILS AND EXTERIOR ELEVATIONS.	28	LINE OF BUILDING ADDITION EXTERIOR WALL. REFER TO EXTERIOR ELEVATIONS.	50	EDGE OF NEW CONCRETE CURB. REFER TO DETAILS.
8	NEW CONCRETE CURBS TO MATCH WIDTH OF EXISTING CONCRETE CURB. REFER TO SITE DETAILS. CONTRACTOR TO ENSURE THAT NEW CONCRETE SLAB ALIGNS WITH NEW BIF ENTRANCE DOOR WITH NO GRADE DIFFERENCE MORE THAN 1/4".	29	EXISTING CONCRETE PAD AT EXTERIOR GARBAGE SHED TO REMAIN.	51	EXISTING MAIN ELECTRICAL TRANSFORMER TO REMAIN.
9	EXISTING DRIVE THRU EQUIPMENT, MENU BOARDS PRE-SELL SIGNAGE TO REMAIN (TYP.)	30	EXISTING ELECTRICAL BOX TO REMAIN AS IS.	52	MAINTAIN ALL ELECTRICAL LINES AND CONDUIT THAT FEED THIS LOCATION TO SERVE DRIVE-THRU MENUS/ SPEAKER/ PRE-SELL TO BE PROTECTED AT ALL TIMES DURING CONSTRUCTION. REFER TO ELECTRICAL DRAWINGS.
10	NEW PEDESTRIAN PAVEMENT MARKING AND PEDESTRIAN CROSSING SIGNAGE TO BE INSTALLED. PAVEMENT MARKING TO USE SLIP-RESISTANT PAINT. REFER TO SITE DETAILS.	31	RE-FACED LOT DIRECTIONAL SIGNAGE.	53	EXISTING MANSARD ROOF OVERHANG TO REMAIN AND BE PAINTED. PROVIDE NEW LED RECESSED SOFFIT LIGHTING. REFER TO NEW RCP AND ELECTRICAL DRAWINGS.
11	NEW EXTERIOR WALK-IN COOLER BOX. NEW STRUCTURAL SLAB TO EXTEND 6" FROM THE NEW COOLER FREEZER BOX. REFER TO NEW FLOOR PLAN AND STRUCTURAL DRAWINGS.	32	N/A.	54	APPROXIMATE LOCATION OF EXISTING OVERHEAD OH LINE TO BE COMPLETELY PROTECTED DURING CONSTRUCTION. REFER TO ELECTRICAL DRAWINGS.
12	EXISTING PATIO FURNITURE TO BE REINSTALLED AS REQUIRED. G.C. TO COORDINATE WITH OWNER OPERATOR.	33	EXISTING ASPHALT SURFACE OUTSIDE PROPERTY LINE TO REMAIN.	55	APPROXIMATE LOCATION OF UNDERGROUND UTILITY LINE TO BE COMPLETELY PROTECTED DURING CONSTRUCTION. REFER TO ELECTRICAL DRAWINGS.
13	NEW PAVEMENT MARKING. VEHICLE STOP LINE. REFER TO SITE DETAILS.	34	EXISTING TREE TO REMAIN AS IS.	56	N/A.
14	NEW 6" THICK CONCRETE VEHICLE PAD ON TOP OF CRUSHED GRAVEL SUB-BASE. CONCRETE TO MATCH WIDTH OF DRIVE THRU C/W REINFORCEMENTS. ENSURE POSITIVE DRAINAGE AND SLOPE TO EXISTING CURB. REFER TO SITE DETAILS.	35	CITY OF DRYDEN STREET WIDENING DESIGNATION PLAN M-398. REFER TO TOPOGRAPHIC SURVEY.	57	NEW PATIO PAVERS TO MATCH EXISTING TYPE. PROVIDE NEW GRAVEL. CONCRETE BASE COMPLETE WITH REINFORCEMENTS. AND SAND BEDDING AND COMPACT. TO RIGHT GRADE. ENSURE ALL PAVERS ARE ALIGNED WITH NO GRADE DIFFERENCE. CONTRACTOR TO SITE VERIFY EXTENT AND COORDINATE WITH MCD ACM AND OWNER OPERATOR.
15	NEW SERVICE/ DELIVERY DOOR ENTRANCE. REFER TO NEW FLOOR PLAN AND EXTERIOR ELEVATIONS.	36	RELOCATED MCD CURBSIDE PARKING SPACE C/W NEW PAVEMENT STRIPING, PAINTED WORDS ON ASPHALT AND RELOCATED SALVAGED SIGNAGE (X4).	58	CROSS HATCH INDICATES EXISTING BRICK INTERLOCKING PAVERS TO BE REMOVED. RE-GRADE AND COMPACT THE BASE AND REINSTALL. PAVERS BY ADDING GRAVEL, CONCRETE BASE AND SAND BEDDING. COMPACT AGAIN. ENSURE ALL PAVERS ARE ALIGNED WITH NO GRADE DIFFERENCE. CONTRACTOR TO SITE VERIFY EXTENT AND COORDINATE WITH MCD ACM AND OWNER OPERATOR.
16	EXISTING HEIGHT RESTRICTION BAR TO REMAIN. ADJUST DIRECTION AS SHOWN. REPAIR AS REQUIRED.	37	NEW BARRIER FREE/ACCESSIBLE PARKING STALL. PAVEMENT MARKING TO USE SLIP-RESISTANT PAINT.	59	NEW RIBBONVEYER. REFER TO EXTERIOR ELEVATIONS.
17	NEW PRE-WIRED 5'-0" LONG BY 18" WIDE DETECTOR LOOP. REFER TO SITE DETAILS AND ELECTRICAL DRAWINGS.	38	NEW BARRIER FREE/ACCESSIBLE ACCESS AISLE STRIPING. PROVIDE SLIP RESISTANT PAINT.	60	NEW BDAP DOOR. REFER TO EXTERIOR ELEVATIONS.
18	EXISTING LANDSCAPING TO REMAIN.	39	NEW BARRIER FREE/ACCESSIBLE PARKING STALL SIGNAGE. REFER TO SITE DETAILS.	61	NEW METAL GUARDRAIL. REFER TO DETAILS.
19	NEW 4" PARKING LOT ASPHALT (2" BINDER COARSE AND 2" HL3 WEAR COURSE) TO BE INSTALLED ON TOP OF EXISTING GRAVEL SUB-BASE. RE-GRADE LOW SPOTS AND RE-COMPACT ENTIRE SUB-BASE TO ENSURE FIRM BASE. ENSURE PROPER DRAINAGE RE-ESTABLISHED BY SLOPING MINIMUM 2% UP FROM EXISTING CATCH BASINS TO PERIMETER CONCRETE CURBS OR EXISTING HIGH POINTS. LOADING AREA TO BE 6" ASPHALT (4" BINDER COARSE AND 2" HL3 WEAR COURSE).	40	NEW PAINTED PARKING STALLS TYP.	62	LINE DENOTES EXTENT OF NEW ASPHALT AT EXISTING DRIVE THRU.
20	EXISTING BOLLARDS ON SITE TO REMAIN. UNLESS SPECIFIED OTHERWISE. ALL EXISTING BOLLARDS ARE TO RECEIVE NEW BOLLARD COVERS TO MATCH MCDONALD'S STANDARDS. REFER TO DETAILS.	41	NEW LOADING ZONE.		
21	RELOCATED EXISTING TRASH BIN.	42	EXISTING CATCH BASIN TO REMAIN.		
		43	EXISTING TRASH BIN TO REMAIN.		

ISSUE TABLE

NO.	DATE (MM/DD/YY)	DESCRIPTION
01	11-11-24	ISSUED FOR DEVELOPMENT PERMIT

REVISIONS

NO.	DATE (MM/DD/YY)	DESCRIPTION
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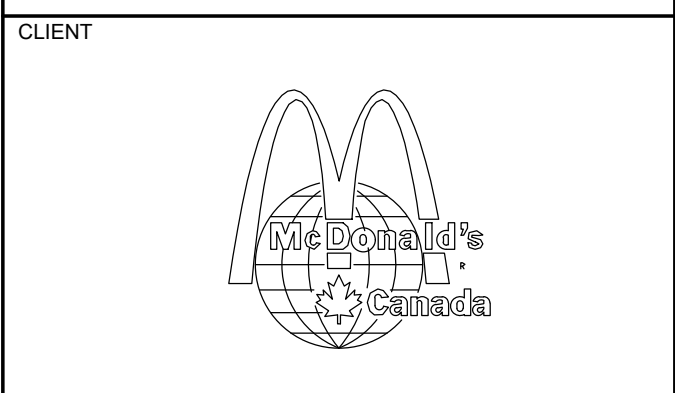


THE CONTRACTOR WILL CHECK AND VERIFY DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO THE DESIGNER AND THE DESIGN PROFESSIONAL WHOSE SEAL IS AFFIXED TO THIS DRAWING. DO NOT SCALE THE DRAWINGS.

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ISSUED FOR CONSTRUCTION _____ DATE _____

DIMENSIONS AND CONDITIONS TO BE VERIFIED ON THE PREMISES

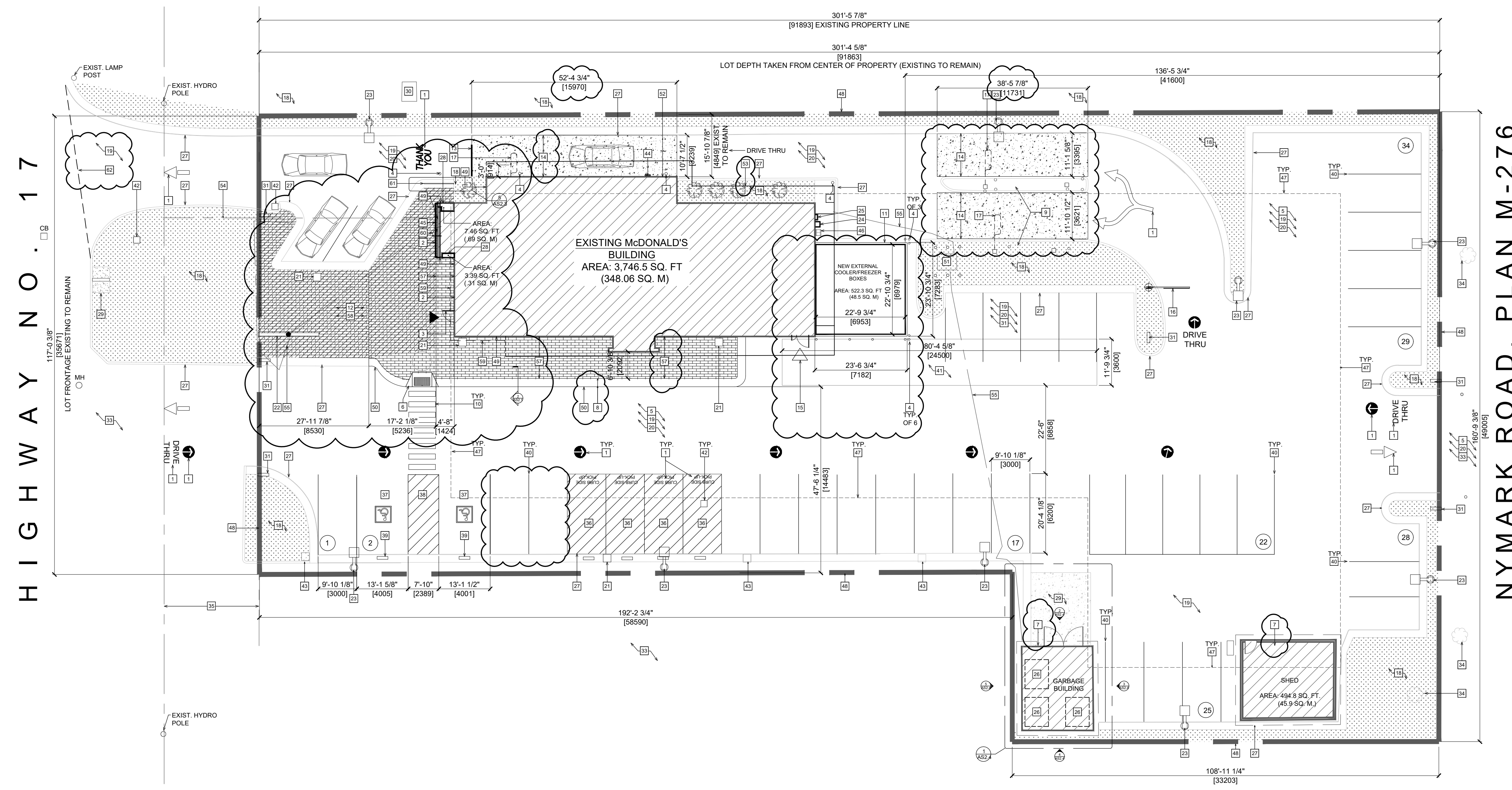


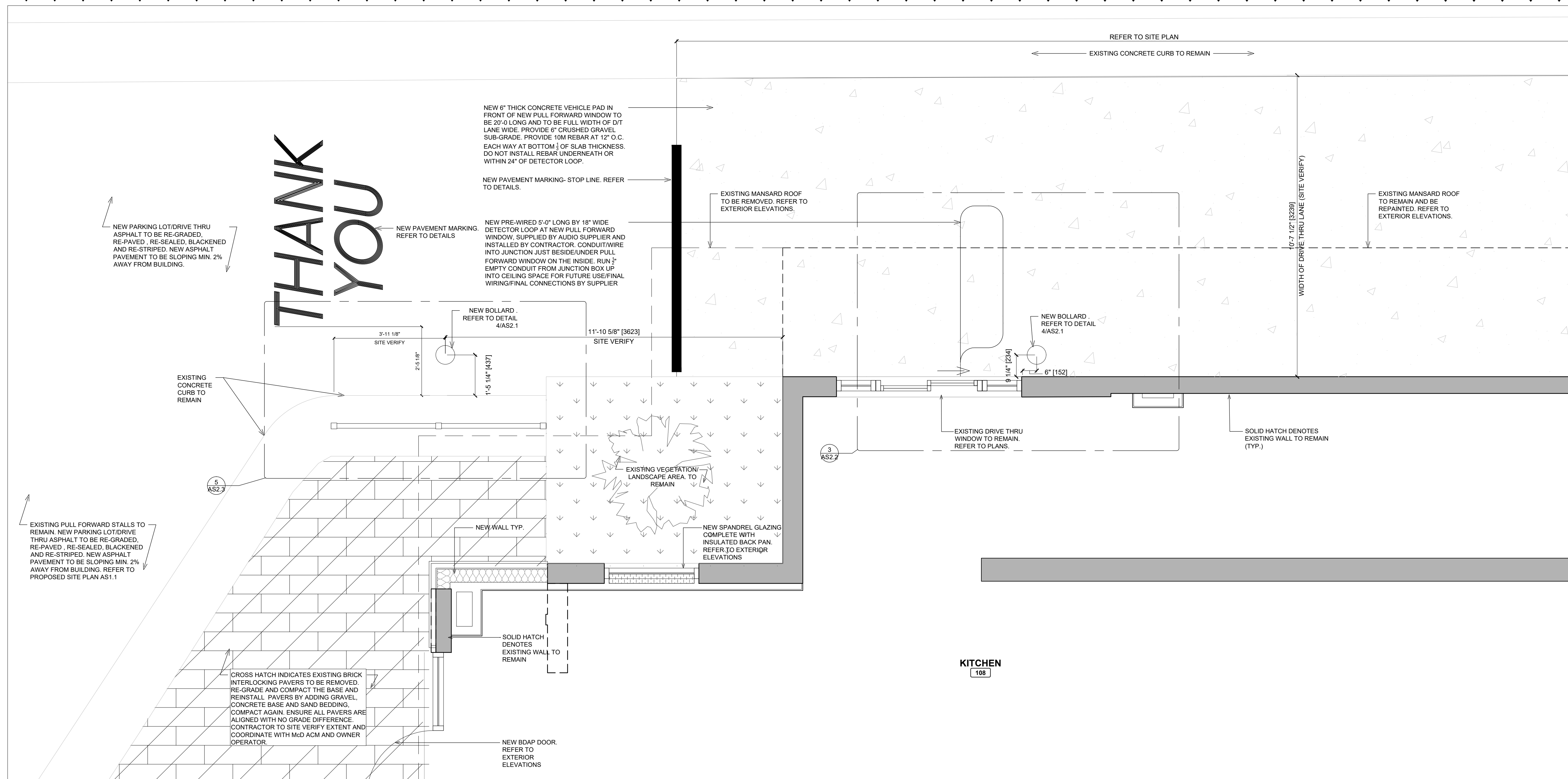
STORE TYPE
RENOVATION AND ADDITION
(4279.3 SQ.FT.)
NAT. #7027

PROJECT LOCATION
520 GOVERNMENT STREET
DRYDEN, ONTARIO

DRAWING TITLE
PROPOSED SITE PLAN

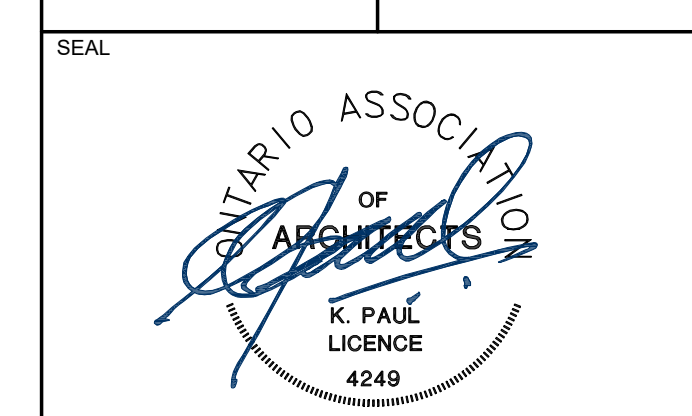
DRAWN	KI	CHECKED	KI	PV	JR
SCALE	AS NOTED	DATE	NOVEMBER 2024		
KPA PROJECT NO.	2408150	DRAWING NO.	AS1.1		





ISSUE TABLE		
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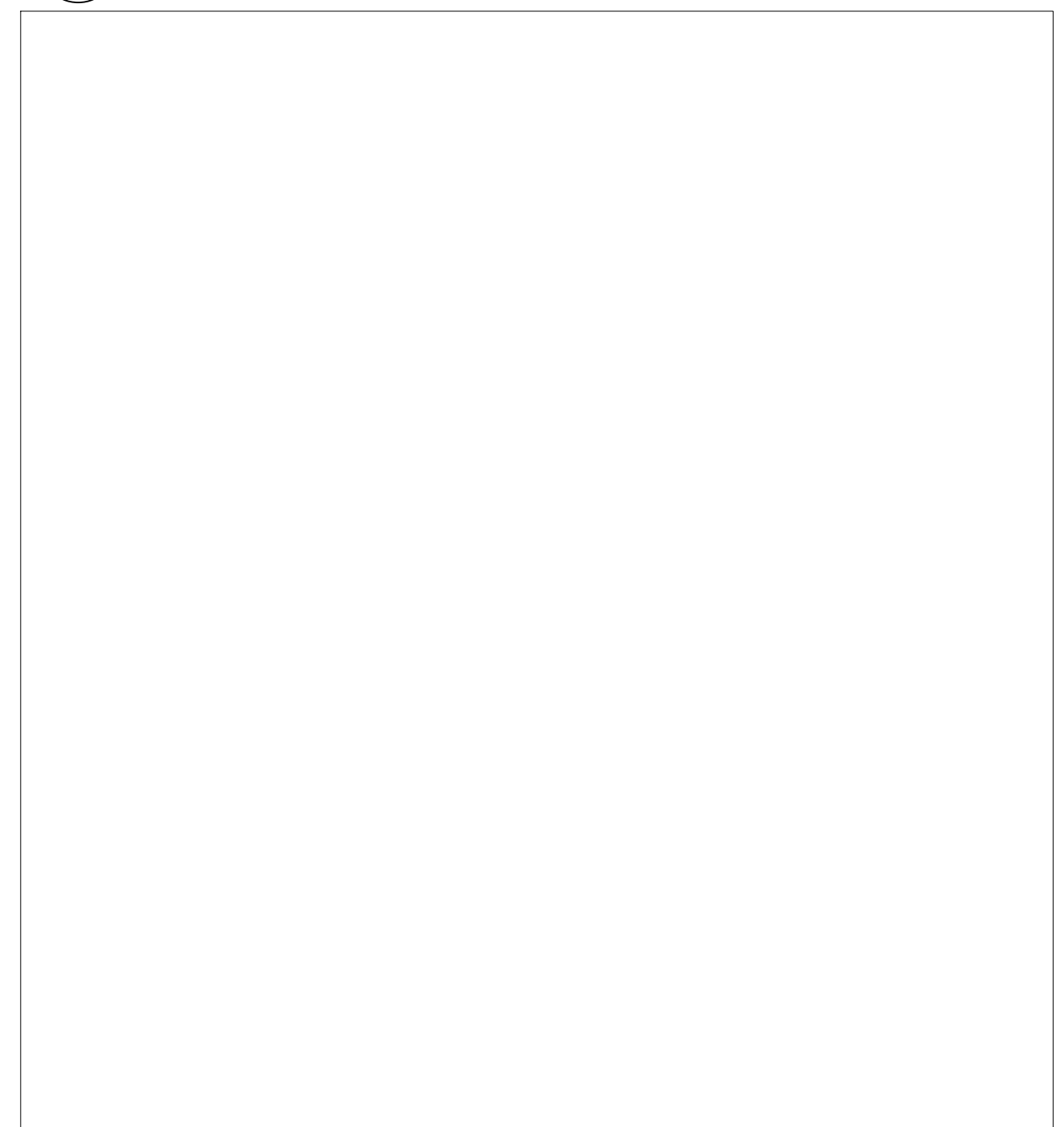
CLIENT

STORE TYPE
RENOVATION AND ADDITION
 (4279.3 SQ.FT.)
 NAT. #7027

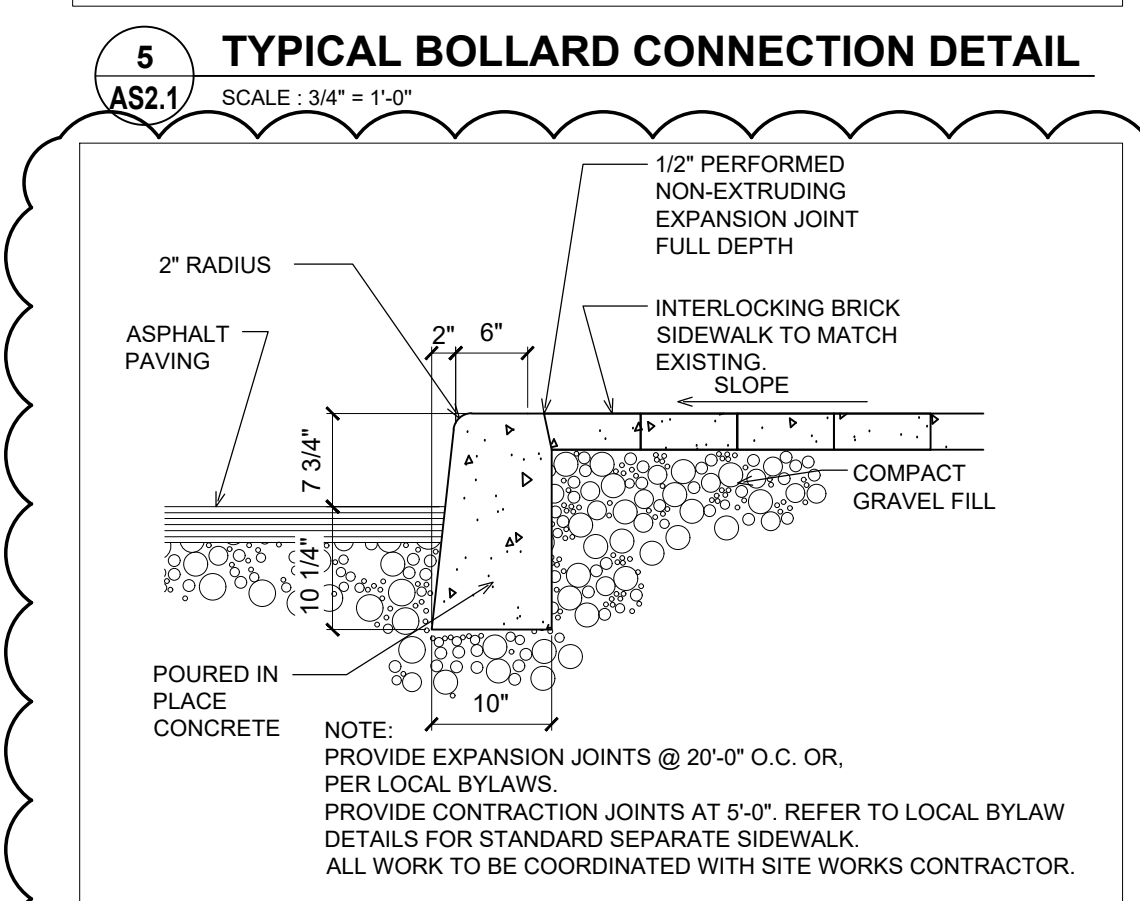
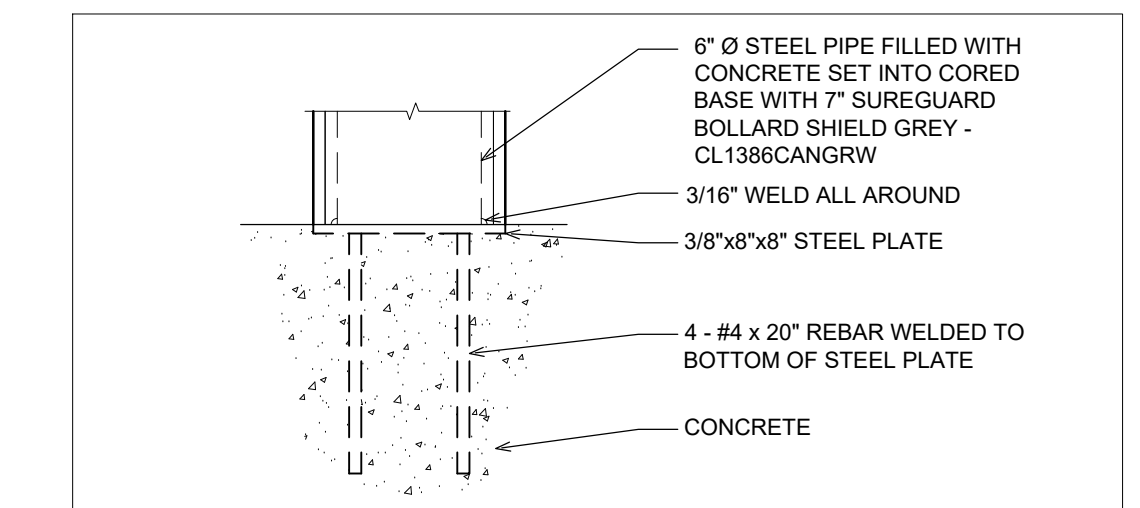
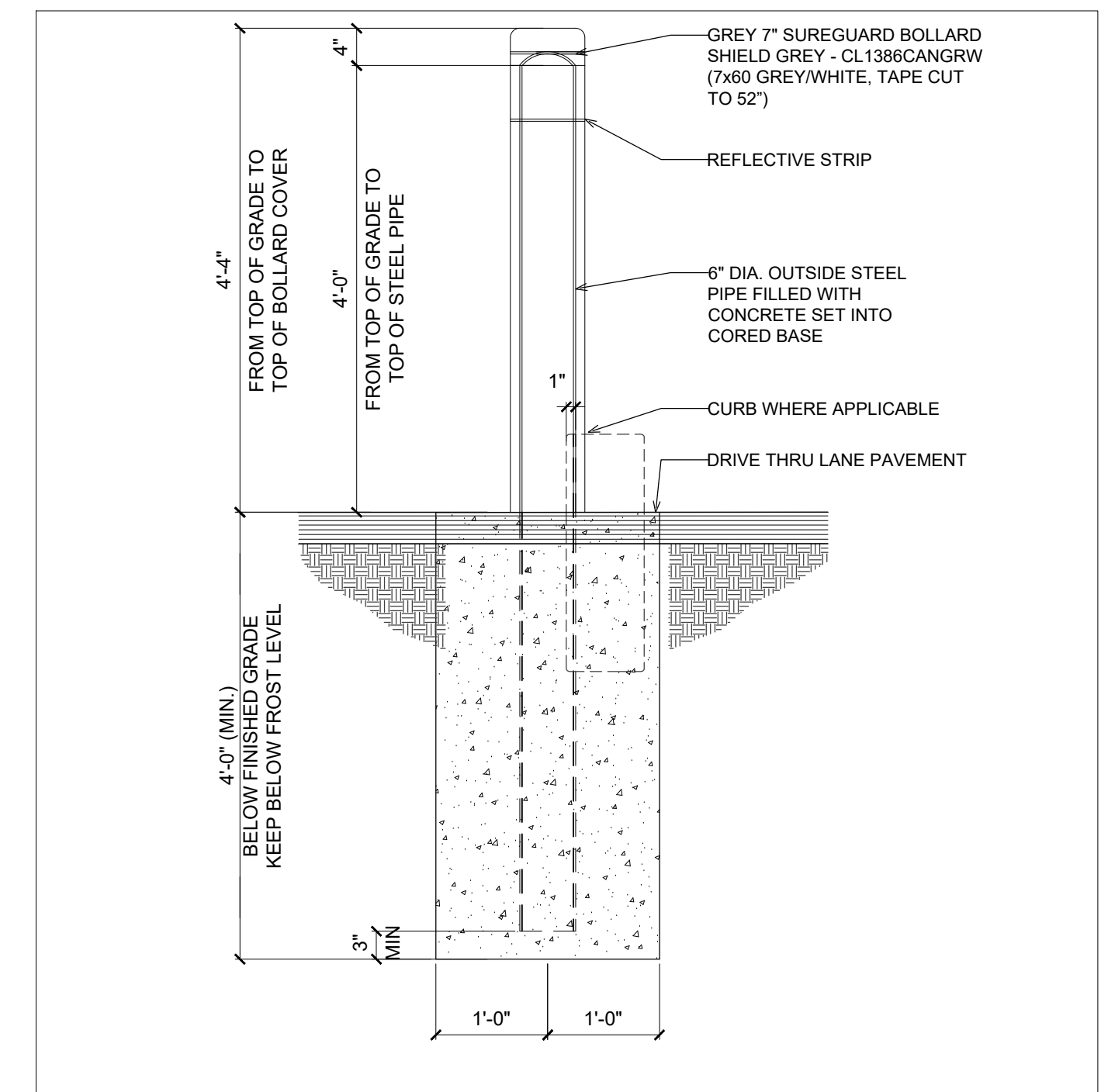
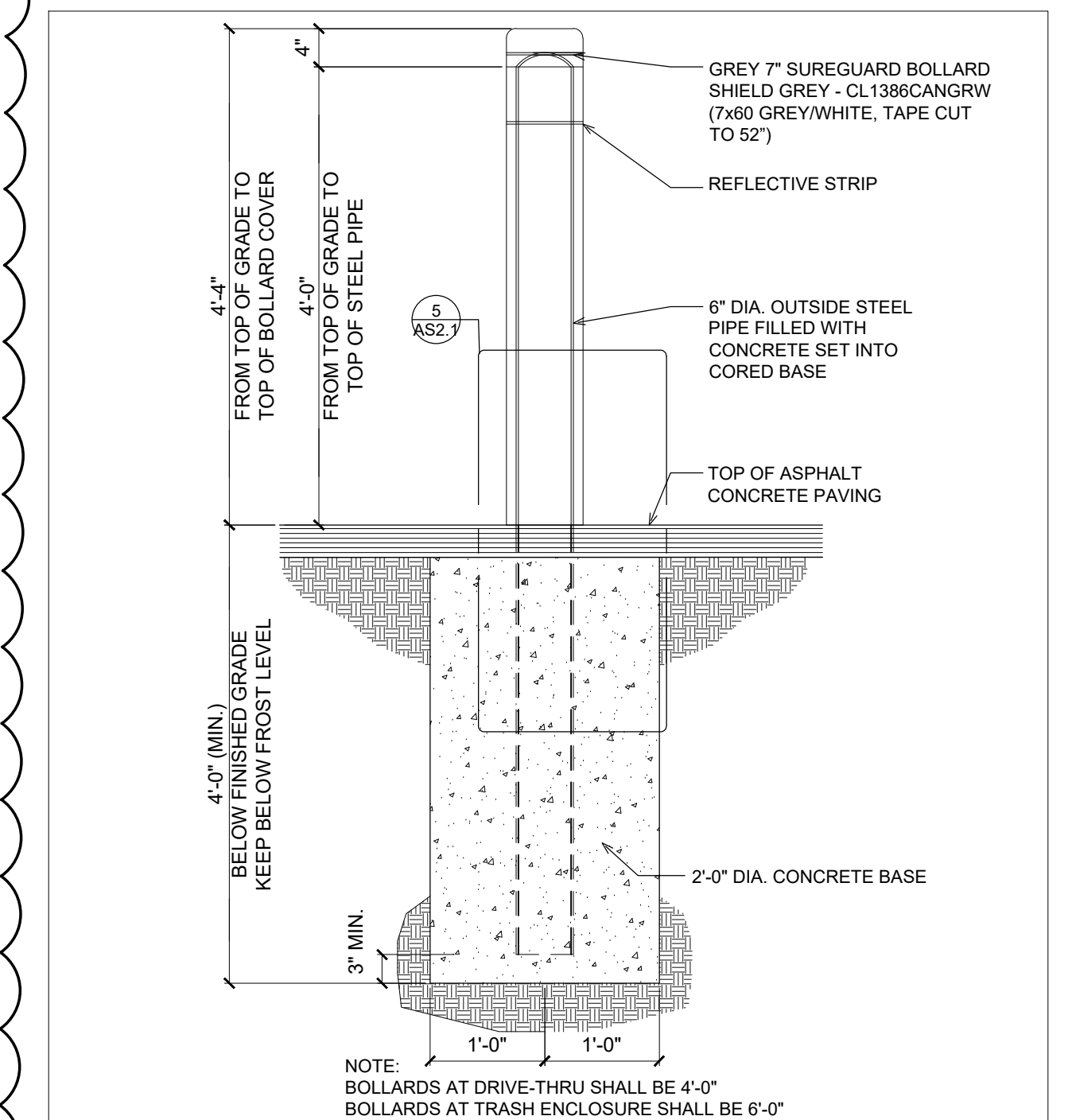
PROJECT LOCATION
520 GOVERNMENT STREET
 DRYDEN, ONTARIO

DRAWING TITLE	
SITE DETAILS	
DRAWN	CHECKED
KI	PV
SCALE	DATE
AS NOTED	NOVEMBER 2024
RPA PROJECT NO.	DRAWING NO.
2408150	AS2.1

1 **DETAIL AT EXISTING MODIFIED DRIVE THRU**
 AS2.1 SCALE: 1/2" = 1'-0"



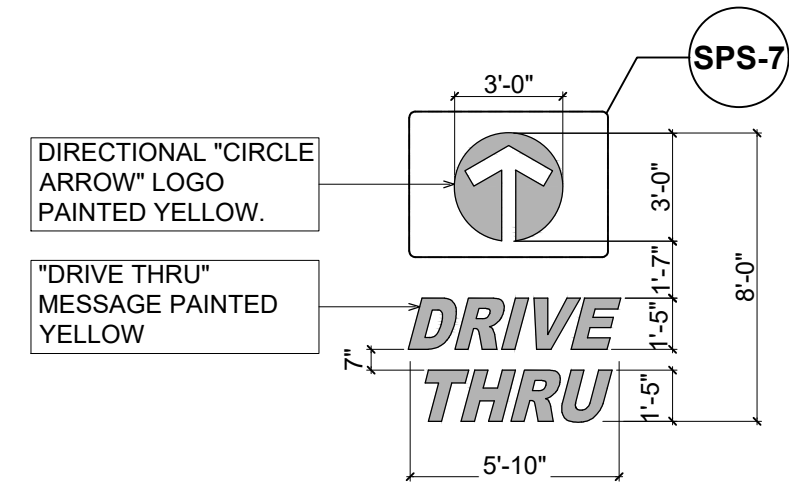
6 **N/A**
 AS2.1 SCALE: N/A



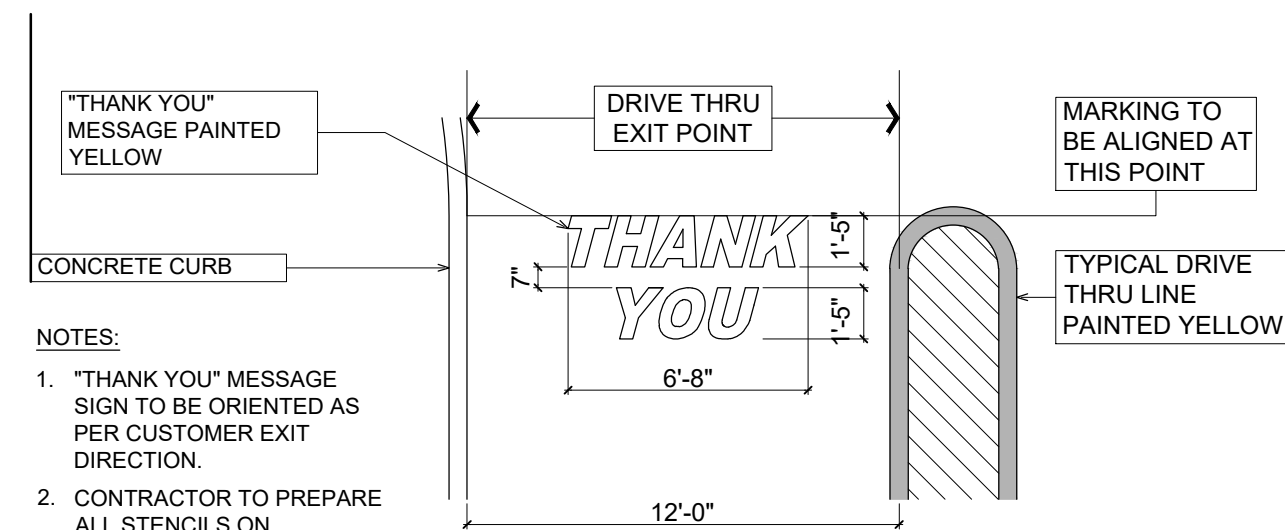
2 **TYPICAL CURB DETAIL @ SIDEWALK**
 AS2.1 SCALE: 3/4" = 1'-0"



CANADIAN KITCHEN SITE STANDARDS SPS-5 SITE PLAN STRIPING



1 DIRECTIONAL SIGN SPS-5 SCALE: 3/16" = 1'-0"



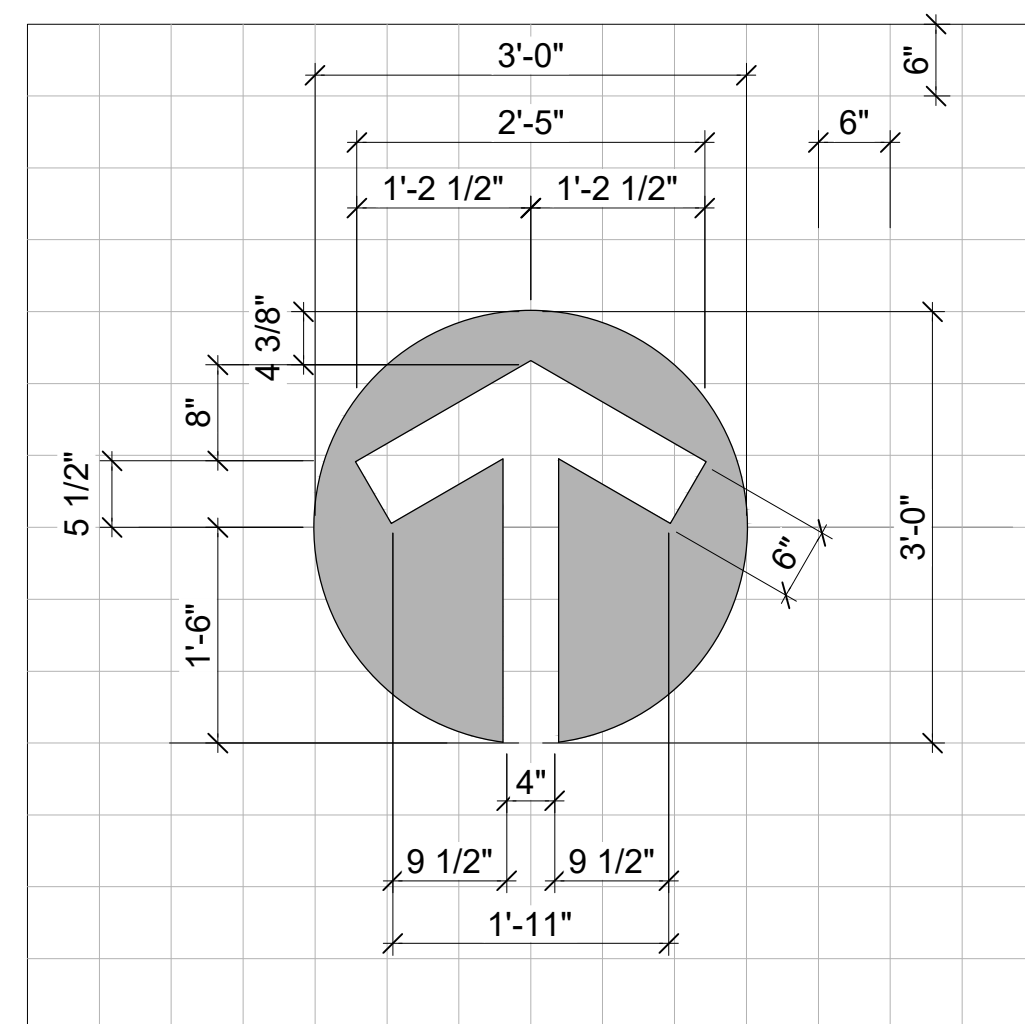
2 DIRECTIONAL SIGN SPS-5 SCALE: 3/16" = 1'-0"

DRIVE-THRU STRIPING ASPHALT DIRECTION DETAILS

1 PAVEMENT STRIPING DETAILS AS2.2 SCALE: 3/16" = 1'-0"



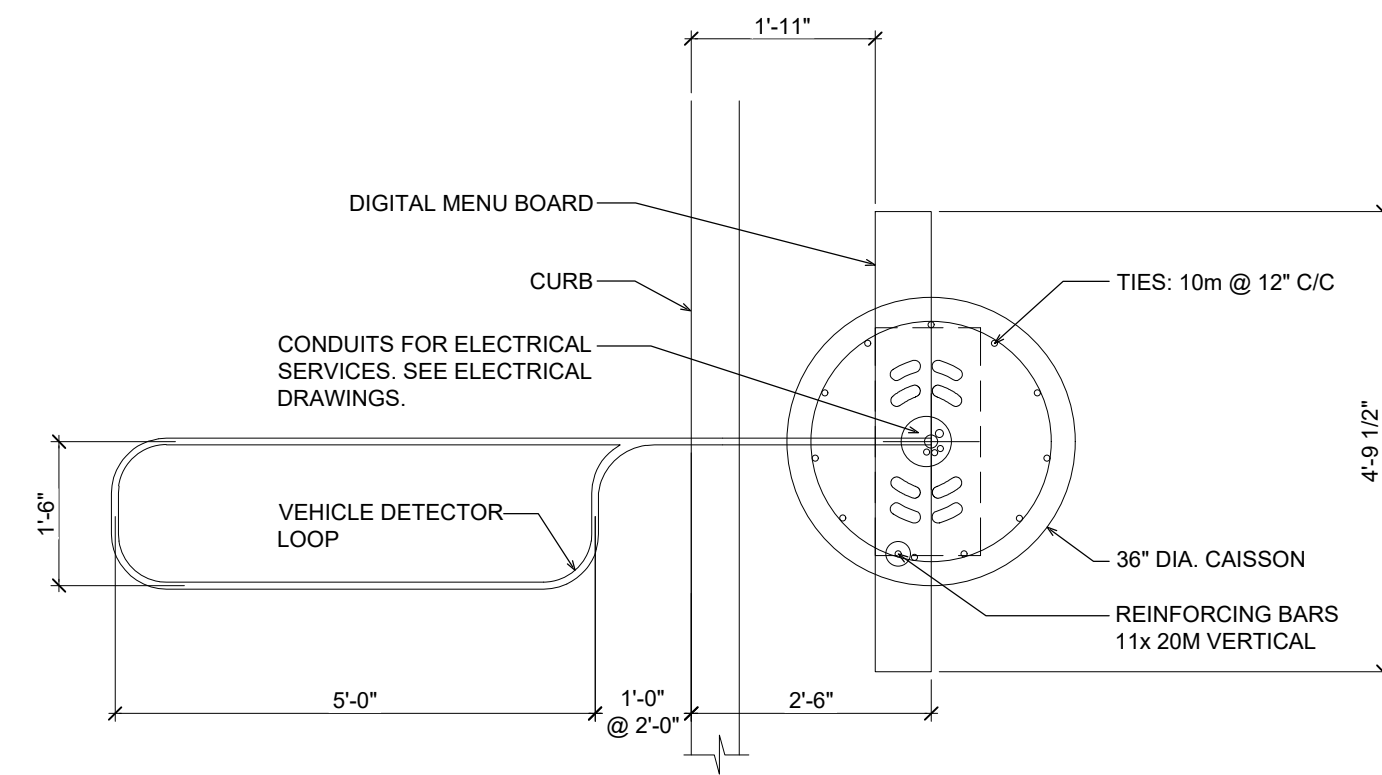
CANADIAN KITCHEN SITE STANDARDS SPS-7 SITE PLAN STRIPING



2 TYPICAL DRIVE THRU STRIPING ASPHALT DIRECTIONAL ARROW AS2.2 SCALE: 3/4" = 1'-0"



CANADIAN KITCHEN SITE STANDARDS



3 TYPICAL DETECTOR LOOP DETAIL AS2.2 SCALE: 1/2" = 1'-0"

CONSTRUCTION:

1.0 FORMED FROM ONE CONTINUOUS LENGTH OF P.V.C. WITH NO SHARP CORNERS AS IN DWG. ABOVE. WIRE LOOP FORMED AND PISTAL FORMED AS IN DWG. ABOVE.

MATERIAL:

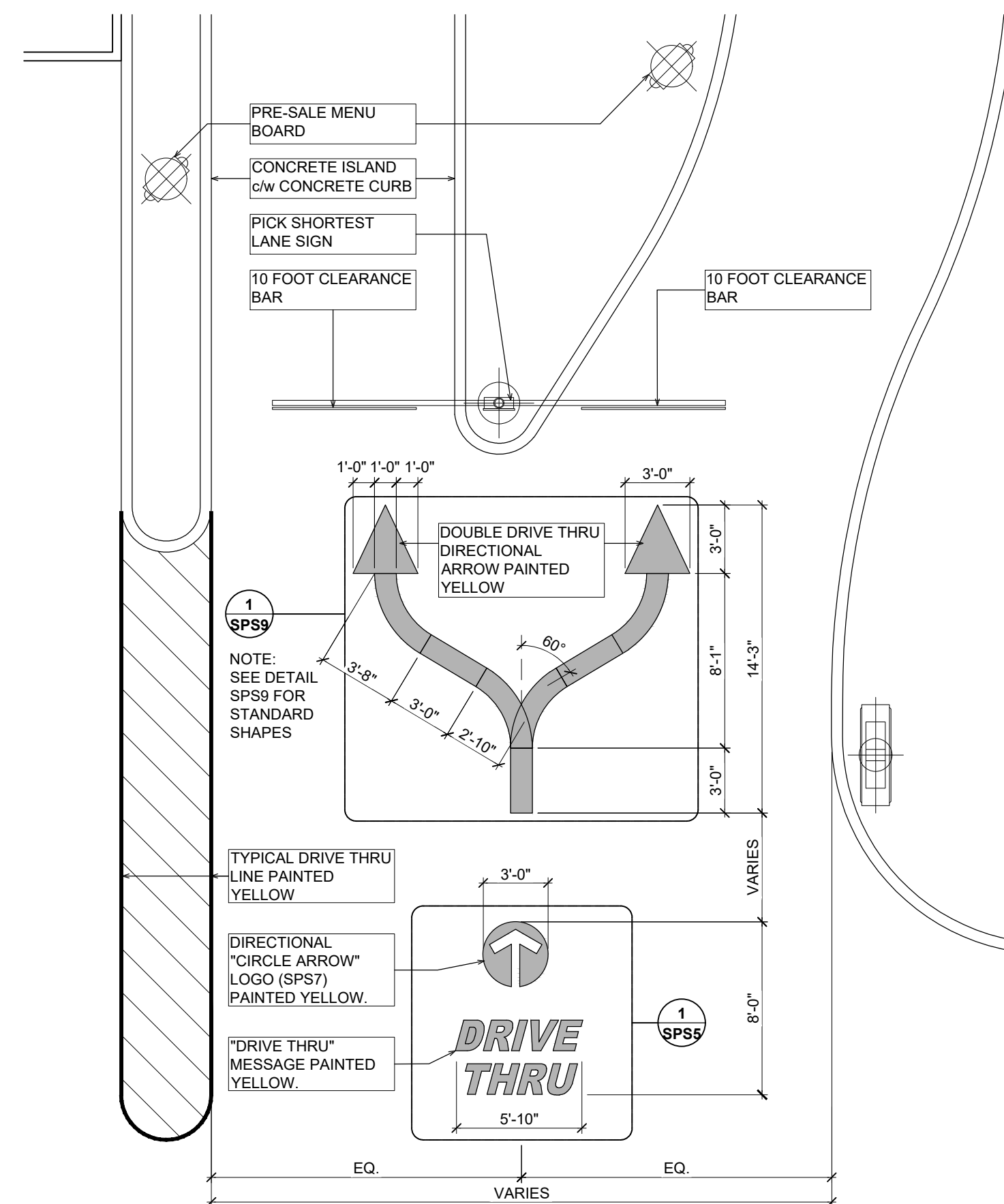
1.0 POLYETHYLENE TUBING 1/2" I.D. 100 P.S.I. LOOP MADE FROM ONE LENGTH OF (5) CONDUCTOR RIBBON CABLE, DEARBORN 382205 105-C, FLAT MULTICONDUCTOR 1000V, INSULATION BELDON 8790 TWISTED PAIR LEAD-IN.

GENERAL NOTES:

1.0 PRE-FORMED, PRE-WIRED VEHICLE DETECTOR LOOP SUPPLIED WITH INTERCOM SYSTEM BY DRIVE-THRU SYSTEM AUDIO SUPPLIER INSTALLED BY G.C. 2.0 NO REBAR TO BE UNDER OR WITHIN 2'-0".



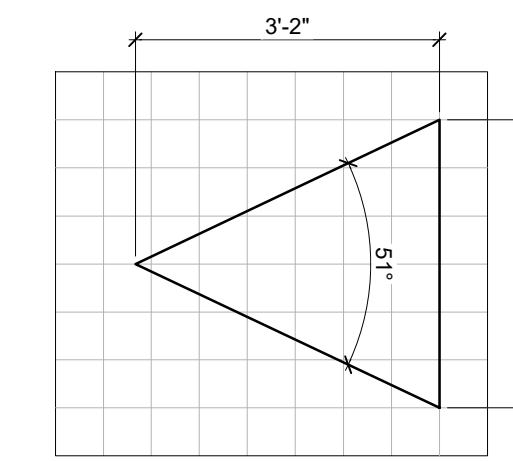
CANADIAN KITCHEN SITE STANDARDS SPS-8 SITE PLAN STRIPING



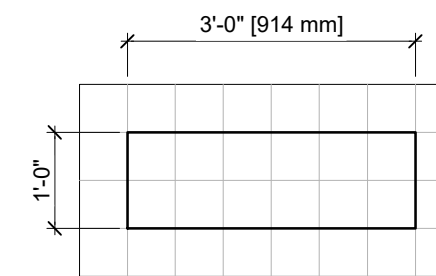
4 TYPICAL DRIVE THRU STRIPING ENTRANCE DETAIL AS2.2 SCALE: 1/16" = 1'-0"



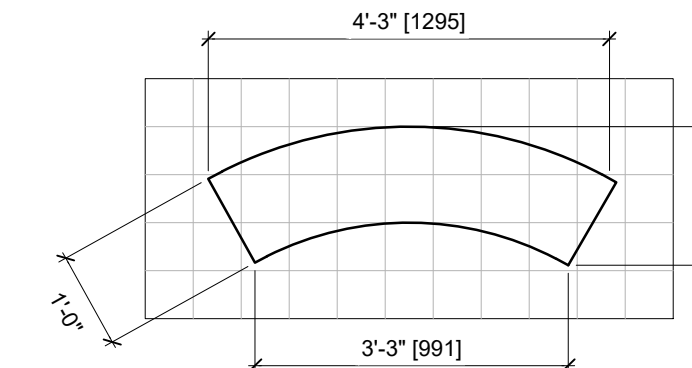
CANADIAN KITCHEN SITE STANDARDS SPS-9 SITE PLAN STRIPING



1



2



3

1 TYP. DIRECTIONAL TEMPLATES SPS9-1 SCALE: 1/4" = 1'-0"

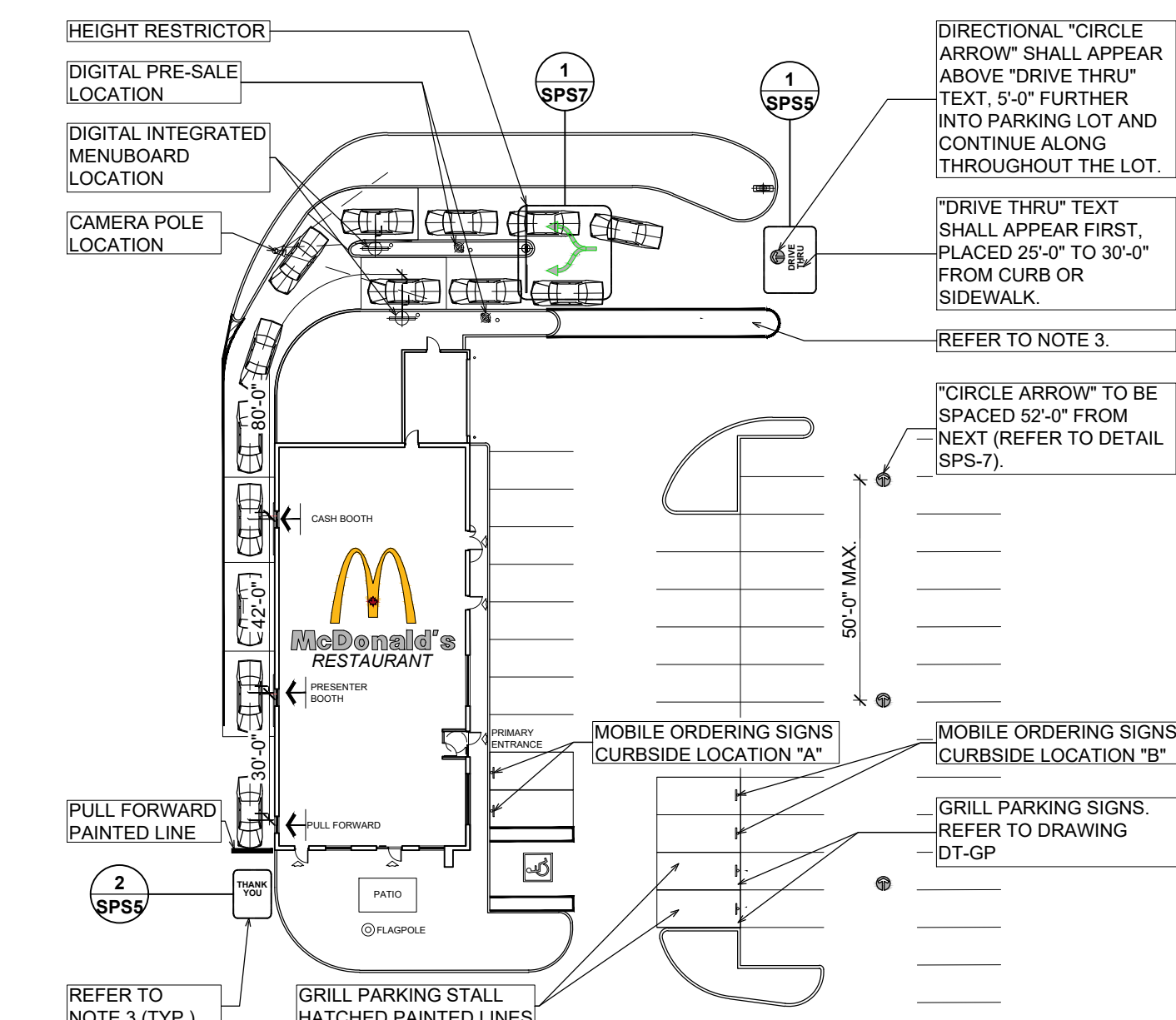
2 APPLICATION EXAMPLES SPS9-1 N.T.S.

DRIVE-THRU STRIPING DIRECTIONAL ARROW TEMPLATES

5 TYPICAL DIRECTIONAL ARROW PAVEMENT MARKING AS2.2 SCALE: 1/2" = 1'-0"



CANADIAN KITCHEN SITE STANDARDS SPS-1 SITE PLAN STRIPING



GENERAL NOTES:

- 1 ALL PAINT MARKING TO BE APPLIED TO ASPHALT WHEN OUTDOOR TEMPERATURE EXCEEDS +8°C MINIMUM. 2 ALL PARKING STALL MARKINGS SHALL BE PAINTED WHITE. 3 ALL PAINT DRIVE THRU MARKINGS SHALL BE PAINTED YELLOW INCLUDING: "DRIVE THRU", "ENTER", "EXIT", "THANK YOU", ALL DIRECTIONAL ARROWS AND DRIVE THRU LANE MARKINGS. 4 DRIVE THRU PAINT SHALL CONTAIN GLASS CRYSTALS FOR ILLUMINATION. 5 PAINT SPECIFICATIONS: RUST-OLEUM PRO 1-GL 2PK STRIPE TRAFFIC YELLOW PRO 1-GL 2PK STRIPE TRAFFIC WHITE. 6 PAVEMENT STENCIL PRICING. REFER TO DETAIL SPS-9.

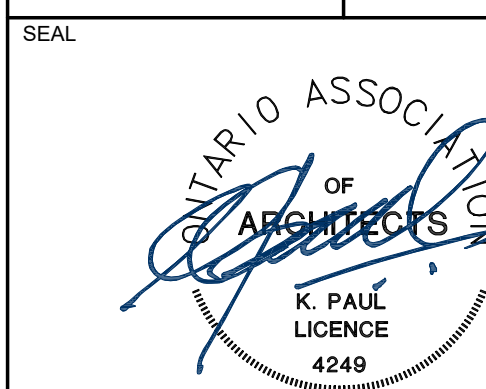
TYPICAL DRIVE-THRU STRIPING INSTRUCTIONS DOUBLE LANE - NARROW ISLAND

6 TYPICAL DRIVE THRU STRIPING INSTRUCTIONS AS2.2 SCALE: 1/16" = 1'-0"

ISSUE TABLE

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01	11-11-24	ISSUED FOR DEVELOPMENT PERMIT

REVISIONS



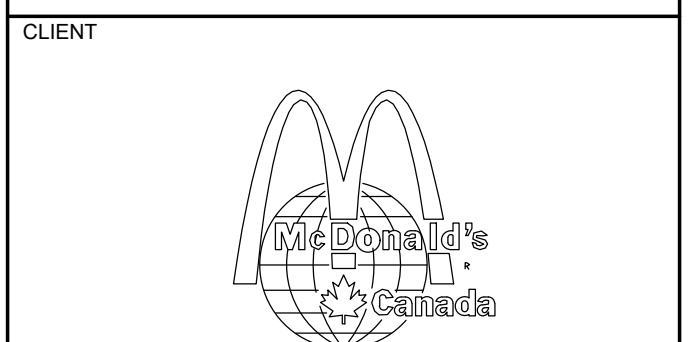
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CLIENT STORE TYPE RENOVATION AND ADDITION (4279.3 SQ.FT.) NAT. #7027

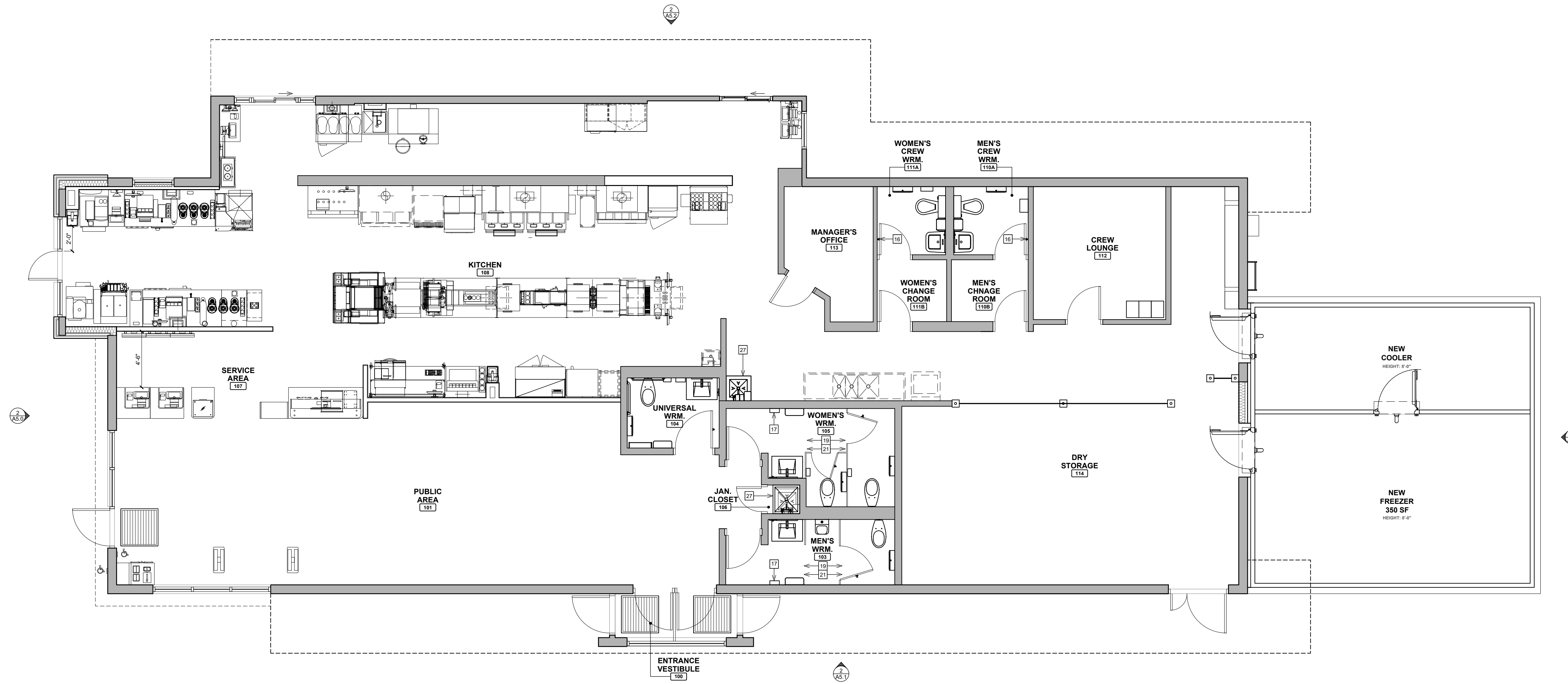
PROJECT LOCATION 520 GOVERNMENT STREET DRYDEN, ONTARIO

DRAWING TITLE SITE DETAILS

DRAWN DCB CHECKED PV

SCALE AS NOTED DATE NOVEMBER 2024

RPA PROJECT NO. 2408150 DRAWING NO. AS2.2



1 FURNITURE & FIXTURE PLAN
 SCALE: 3/16" = 1'-0"

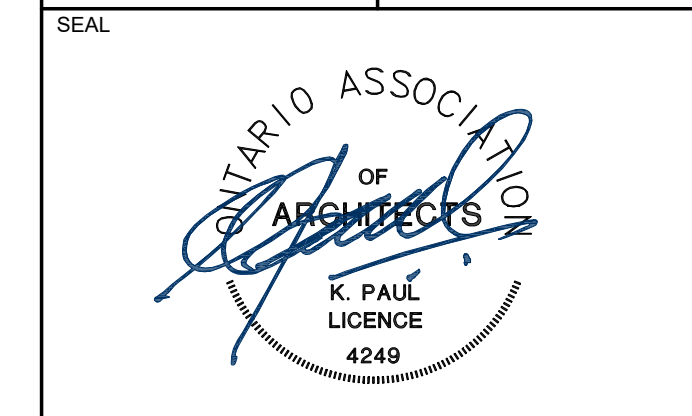
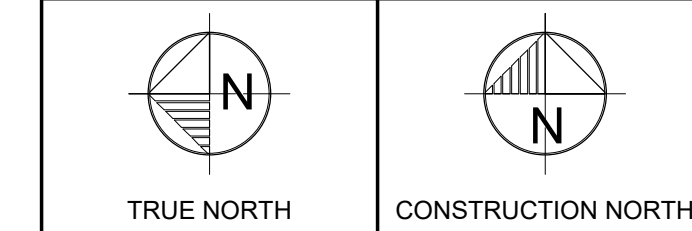
FOR REFERENCE ONLY

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NO.	DATE	DESCRIPTION



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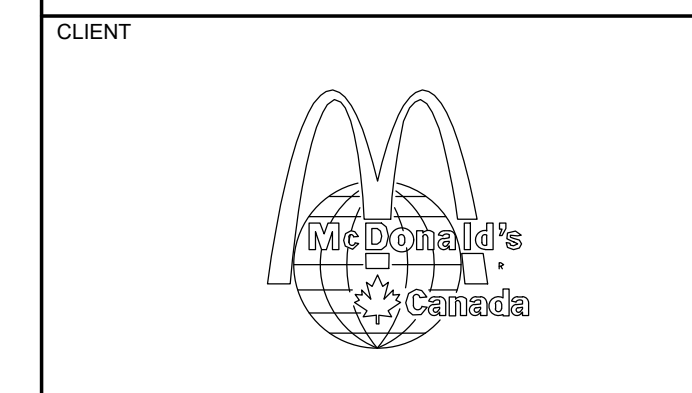
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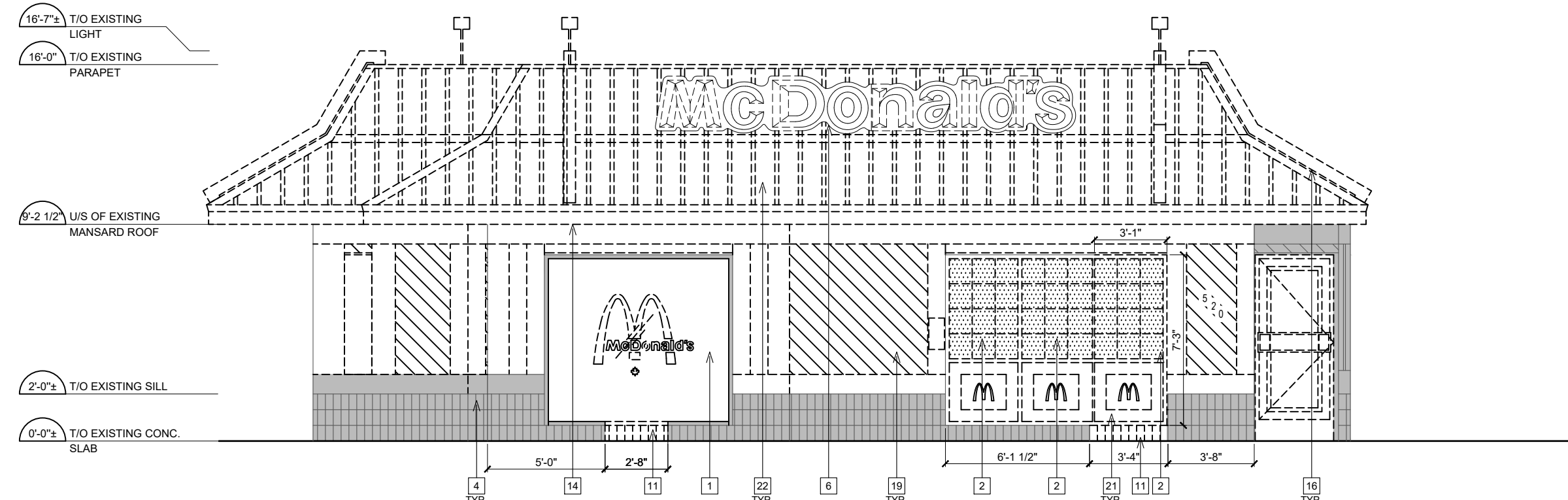
CLIENT

STORE TYPE
 RENOVATION AND ADDITION
 (4279.3 SQ.FT.)
 NAT. #7027

PROJECT LOCATION
520 GOVERNMENT STREET
 DRYDEN, ONTARIO

DRAWING TITLE
FURNITURE & FIXTURE PLAN

DRAWN	CHECKED		
	KI	PV	JR
SCALE	DATE		
3/16" = 1'-0"	NOVEMBER 2024		
RPA PROJECT NO.	DRAWING NO.		
2408150	A2.0		



EXTERIOR ELEVATION NOTES (DEMO)

- 1 EXISTING EXTERIOR DOOR, HARDWARE, STOREFRONT WINDOWS AND GLAZING TO BE REMOVED PATCH AND REPAIR AS REQUIRED TO ACCEPT NEW FINISHES.
- 2 EXISTING SPANDREL WINDOW AND FRAME TO BE REMOVED AND DEMOLISHED. PATCH AND REPAIR TO ACCEPT NEW ENTRANCE DOOR AND WINDOWS. REFER TO NEW FLOOR PLAN AND WINDOW DOOR SCHEDULE.
- 3 EXTENT OF EXISTING EXTERIOR WALL TO BE REMOVED AND DEMOLISHED IN ORDER TO ACCOMMODATE NEW ADDITION. PROVIDE TEMPORARY SHORING TO FACILITATE NEW CONSTRUCTION AND PATCH AND REPAIR ADJACENT WALLS TO ACCEPT NEW CONSTRUCTION.
- 4 SOLID HATCHED AREA DENOTES AREA NOT IN SCOPE.
- 5 EXISTING GAS METER TO REMAIN AND BE FULLY PROTECTED DURING CONSTRUCTION.
- 6 EXISTING MCDONALD'S SIGNAGE TO BE REMOVED.
- 7 EXISTING WALL SURROUNDING FREEZER BOX TO BE DEMOLISHED AND DISPOSED OF. EXCAVATE DOWN TO REMOVE EXISTING CONCRETE SLAB AND FOUNDATIONS. REFER TO PROPOSED ELEVATIONS AND STRUCTURAL DRAWINGS.
- 8 N/A.
- 9 EXISTING WINDOW GLAZING TO BE REMOVED. DISPOSED AND REPLACED WITH NEW SPANDREL PANEL CW INSULATED BACK PAN. REFER TO WINDOW SCHEDULE.
- 10 EXISTING BOLLARD TO BE REMOVED TO ACCOMMODATE NEW CONCRETE SLAB FOR NEW COOLER AND FREEZER WALK-IN BOX. REFER SITE PLAN AND PROPOSED ELEVATIONS.
- 11 EXISTING SILL TO BE SAW CUT, REMOVED AND DEMOLISHED TO ACCOMMODATE NEW DOOR. PATCH AND REPAIR AS REQUIRED.
- 12 DASHED LINE DENOTES EXISTING CANOPY TO BE REMOVED AND DEMOLISHED. PATCH AND REPAIR AS REQUIRED.
- 13 EXISTING WALL LIGHT TO BE REMOVED AND DEMOLISHED.
- 14 EXISTING MANSARD ROOF TO BE TRIMMED BACK TO ACCOMMODATE NEW FEATURE TOWER. REFER TO PROPOSED ELEVATIONS.
- 15 EXISTING COIN BOX TO REMAIN.
- 16 EXISTING LIGHTS TO BE REMOVED AND DISPOSED OF. EXISTING METAL MANSARD ROOF AS REQUIRED AND MAKE IT WEATHER TIGHT BEFORE PAINTING.
- 17 EXISTING RED METAL CLADDING AT MANSARD ROOF TO BE RE-PAINTED EPT2. REFER TO EXTERIOR FINISH SCHEDULE.
- 18 EXISTING DOOR AND FRAME TO BE REMOVED AND DEMOLISHED. PATCH AND REPAIR AND OPENING TO BE INFILLED MATCH EXISTING CONSTRUCTION AND NEW FINISHES TO MATCH ADJACENT FINISHES.
- 19 EXISTING EXTERIOR CLADDING TO BE STRIPPED BACK TO EXISTING MAIN WALL SHEATHING. PROVIDE NEW AIR BARRIER REFER TO NEW FLOOR PLAN, WALL TYPE SCHEDULES AND PROPOSED EXTERIOR ELEVATIONS FOR NEW EXTERIOR FINISHES.
- 20 EXISTING GRAPHIC TO BE REMOVED AND DISPOSED OF. PATCH AND REPAIR IF REQUIRED.
- 21 EXISTING DECORATIVE PANEL TO BE REMOVED AND DEMOLISHED. PATCH AND REPAIR AS REQUIRED.
- 22 EXISTING METAL ROOF AT MANSARD CW ALL FRAMING TO BE REMOVED AND DEMOLISHED. CONTRACTOR TO SALVAGE PART OF METAL ROOF IN ORDER TO PATCH AND REPAIR MANSARD ROOF AT CUT OUTS.
- 23 EXISTING EXTERIOR WALL TO BE SAW CUT AND REMOVED IN ORDER TO PROVIDE NEW OPENING FOR RECEIVING DOOR. PROVIDE AND INSTALL NEW LINTEL AT OPENING. REFER TO PROPOSED EXTERIOR ELEVATIONS AND STRUCTURAL DRAWINGS.
- 24 EXISTING WOOD FENCE BOARDS TO BE REMOVED AND DEMOLISHED. EXISTING FRAMING TO REMAIN. PATCH AND REPAIR FRAMING TO ACCEPT NEW FENCE BOARDS.

GENERAL NOTES (EXTERIOR)

- 1 ALL EXISTING PARAPETS: CAP FLASHING, METAL ROOFING, CANOPIES, ROOF LADDERS, GAS METER, EXTERIOR WALL SIGNAGE, WALL PACK LIGHTS, EXTERIOR TROUBLE DOWNPOUTS, SIGNAGE, WINDOWS/GLAZING, DOOR FRAMES AND EXTERIOR CLADDING MATERIALS TO REMAIN. REFER TO DEMO AND PROPOSED ELEVATION NOTES FOR EXTENT OF WORK. ALL ELEMENTS TO BE PROTECTED FROM NEW CONSTRUCTION.
- 2 ALL DEBRIS CAUSED BY NEW CONSTRUCTION ON SITE, TO BE REMOVED AFTER COMPLETION OF WORK.

1 DEMO NORTH ELEVATION

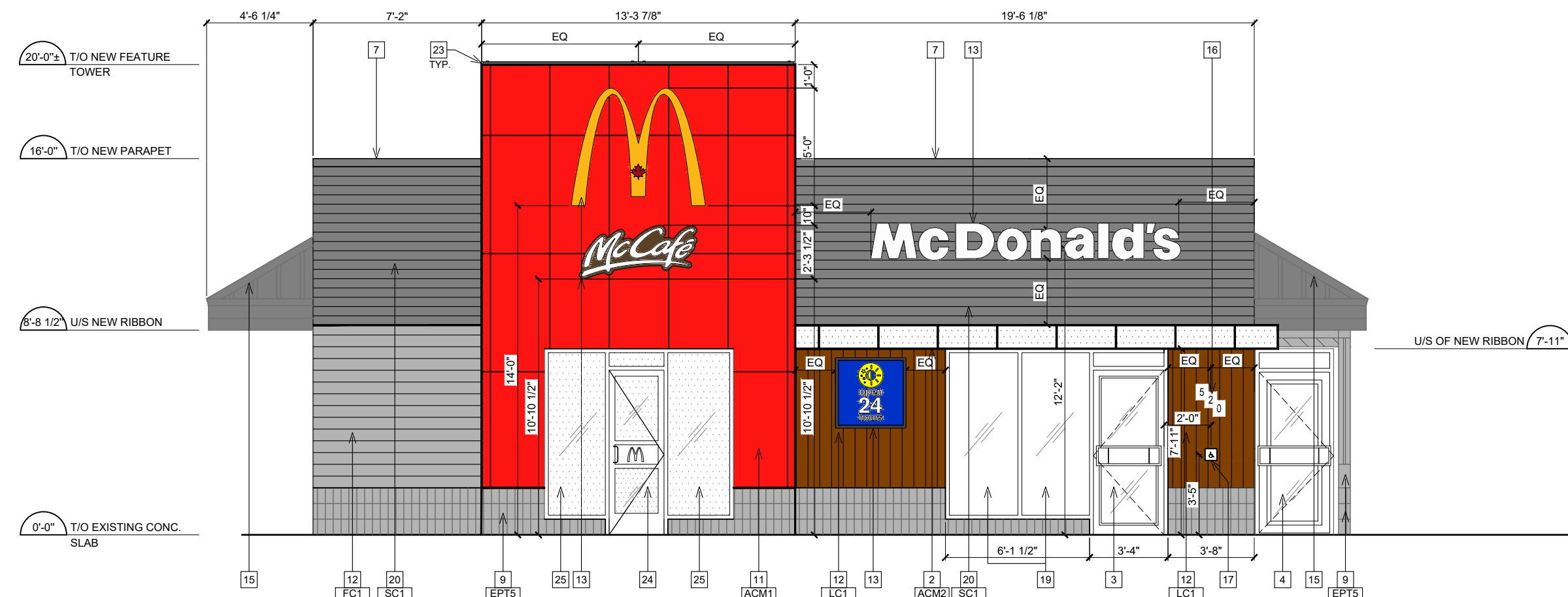
A5.0 SCALE: 3/16" = 1'-0"

SIGNAGE NOTES

- COORDINATE THE INSTALLATION OF SIGNAGE WITH THE FOLLOWING TRADES:
- SIGNAGE CONTRACTOR FOR SIGNAGE ANCHOR POINTS AND POWER INPUT LOCATION
 - ELECTRICAL CONTRACTOR FOR POWER LOCATION
 - FRAMING CONTRACTOR FOR REQUIRED PLYWOOD BACKING AT SIGNAGE ANCHOR POINTS
 - ACM PANEL INSTALLER FOR PLYWOOD BACKING INTERFERENCE WITH PANEL, SPLINES AND POWER LOCATION

EXTERIOR ELEVATION NOTES (PROPOSED)

- 1 PROVIDE NEW SPANDREL GLASS CW INSULATED BACK PAN, FACTORY APPLIED, COLOUR TO MATCH #340 HARMONY GRAY. REFER TO DOOR & WINDOW SCHEDULE.
- 2 PROVIDE AND INSTALL NEW FIBER CEMENT SIDING. REFER TO WALL SECTIONS AND STRUCTURAL DRAWINGS.
- 3 NEW EXTERIOR STOREFRONT ALUMINUM DOOR AND FRAME. FRAME FINISH TO MATCH EXISTING WINDOWS. REFER TO DOOR AND WINDOW SCHEDULE.
- 4 HATCHED AREA DENOTES AREA NOT IN SCOPE.
- 5 RE-PAIN EXISTING DIAGONAL SIDING REGENT GREY. REFER TO EXTERIOR FINISH SCHEDULE. PATCH AND REPAIR AS REQUIRED.
- 6 RE-PAIN EXISTING SIDING REGENT GREY. REFER TO EXTERIOR FINISH SCHEDULE. PATCH AND REPAIR AS REQUIRED.
- 7 NEW METAL FLASHING TO COLOUR MATCH ADJACENT. REFER TO EXTERIOR FINISH SCHEDULE.
- 8 NEW BOLLARDS. REFER TO SITE DETAILS.
- 9 RE-PAIN EXISTING STONE REGENT GREY. REFER TO EXTERIOR FINISH SCHEDULE. PATCH AND REPAIR AS REQUIRED.
- 10 NEW STONE BASE TO MATCH ADJACENT. REFER TO EXTERIOR FINISH SCHEDULE.
- 11 NEW FEATURE TOWER COMPLETE WITH RED ALPOLIC ACM PANEL SYSTEM. REFER TO WALL SECTIONS, STRUCTURAL DRAWINGS AND EXTERIOR FINISH SCHEDULE.
- 12 NEW FIBER CEMENT SIDING. REFER TO EXTERIOR FINISH SCHEDULE, WALL TYPE LEGEND AND WALL SECTIONS.
- 13 NEW MCDONALD'S SIGNAGE, BY SIGN COMPANY, CONTRACTOR TO PROVIDE AND INSTALL ADEQUATE PLYWOOD BACKING/ BLOCKING FOR INSTALLATION OF SIGNAGE. CONTRACTOR TO COORDINATE WITH SIGN SUPPLIER/INSTALLER.
- 14 NEW EXTERIOR WALK-IN BOX ON NEW CONCRETE PAD. REFER TO STRUCTURAL DRAWINGS FOR NEW PAD AND FOUNDATIONS AND WALL SECTIONS FOR DETAILS WALK-IN BOX PANELS TO BE PRE-FINISHED COLOR CHARCOAL GREY. REFER TO EXTERIOR FINISH SCHEDULE. NOTE: IF PANELS DON'T COME PRE-FINISHED AS CHARCOAL GRAY THEN CONTRACTOR TO PROVIDE PAINT FINISH TO MATCH EXISTING EXTERIOR FINISH SCHEDULE.
- 15 EXISTING MANSARD ROOF TO BE RE-PAINTED CHARCOAL GREY. REFER TO EXTERIOR FINISH SCHEDULE. PATCH AND REPAIR AS REQUIRED.
- 16 N/A.
- 17 NEW PUSH OPERATOR FOR ENTRANCE DOOR (INSTALLED AT 900mm - 1100mm ON CENTER). REFER TO ELECTRICAL DRAWINGS.
- 18 NEW DOOR FOR DELIVERY. REFER TO DOOR SCHEDULE AND EXTERIOR FINISH SCHEDULE FOR COLOUR.
- 19 NEW WINDOW FRAME AND GLAZING. REFER TO WINDOW SCHEDULE.
- 20 PRE-FINISHED STEEL SIDING. REFER TO EXTERIOR FINISH SCHEDULE, WALL TYPE LEGEND AND WALL SECTIONS.
- 21 RE-PAIN EXISTING ROOF LADDER CHARCOAL GREY. REFER TO EXTERIOR FINISH SCHEDULE.
- 22 NEW WOOD FENCE BOARD ON EXISTING FRAMING, TO BE PAINTED CHARCOAL GREY TO MATCH MANSARD ROOF REFER TO EXTERIOR FINISH SCHEDULE.
- 23 EXTERIOR LIGHT FIXTURE LOCATED ON BLADE FEATURE. REFER TO ELECTRICAL DRAWINGS.
- 24 NEW BD4P DOOR. REFER TO NEW FLOOR PLAN AND DOOR SCHEDULE.
- 25 NEW WINDOW AND FRAME CW NEW 3M FILM TO BE APPLIED ON INSIDE OF EXTERIOR GLAZING. REFER TO WINDOW SCHEDULE.



EXTERIOR FINISH SCHEDULE

CODE	PRODUCT	MANUF.	MODEL AND COLOUR	SUPPLIER CONTACT INFO
ACM1	ALUMINUM METAL PANELS	ALPOLIC	MITSUBISHI 4MM ALPOLIC METAL CLADDING - RON RED	JIM MATHEWSON T: 416-435-6304 E: JIM.MATHEWSON@AKZONOBEL.COM
ACM2	ALUMINUM METAL PANELS	ALPOLIC	MITSUBISHI 4MM ALPOLIC METAL CLADDING - BONE WHITE	
LC1	ALUMINUM CLADDING	LONGBOARD-MANITOBA & WEST LUX CLAD-ONTARIO & EAST	6 1/4" GROOVE PLAN; COLOUR: LIGHT NATIONAL WALNUT	
FC1	FIBER CEMENT SIDING	JAMES HARDIE	SERIES: SELECT CEADARMILL; 6.25"; COLOUR: PAINT TO MATCH DULUX PAINT 'REGENT GREY MCD 49	
SC1	PRE-FINISHED STEEL CLADDING	VICWEST	CL7040; COLOUR: S5174 - DEEP GREY	
EPT2	EXTERIOR PAINT	DULUX PAINT	COLOUR: CHARCOAL GREY-MCD44	
EPT5	EXTERIOR PAINT	DULUX PAINT	COLOUR: REGENT GREY-MCD 49	

2 PROPOSED NORTH ELEVATION

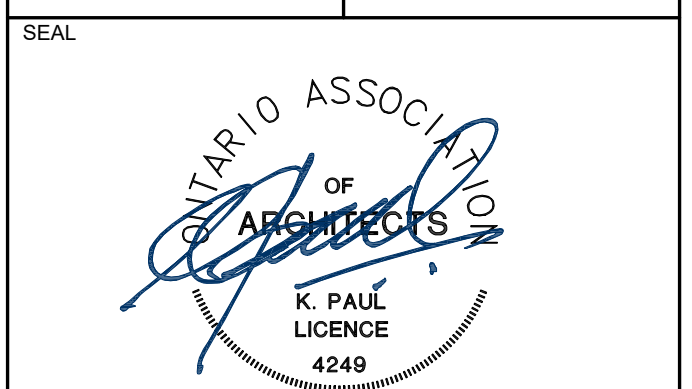
A5.0 SCALE: 3/16" = 1'-0"

ISSUE TABLE

NO.	DATE (MM-DD-YY)	DESCRIPTION
01	11-11-24	ISSUED FOR DEVELOPMENT PERMIT

REVISIONS

NO.	DATE	DESCRIPTION



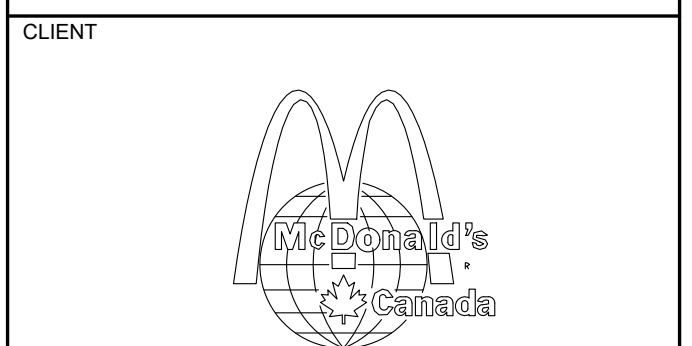
THE CONTRACTOR WILL CHECK AND VERIFY DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO THE DESIGNER AND THE DESIGN PROFESSIONAL WHOSE SEAL IS AFFIXED TO THIS DRAWING. DO NOT SCALE THE DRAWINGS.

THIS DRAWING WILL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR CONSTRUCTION BY THE DESIGN PROFESSIONAL WHOSE SEAL IS AFFIXED TO THIS DRAWING AND WHOSE SIGNATURE IS BELOW.

ISSUED FOR CONSTRUCTION _____ DATE _____
DIMENSIONS AND CONDITIONS TO BE VERIFIED ON THE PREMISES

K PAUL ARCHITECT INC.
TORONTO • VANCOUVER • ORLANDO

2660 Sherwood Heights Dr, Suite 200, Oakville, Ontario, L6J 7Y8
www.kpaularchitect.com
(905)337-9800 fax (905)337-1986



STORE TYPE
RENOVATION AND ADDITION
(4279.3 SQ.FT.)
NAT. #7027

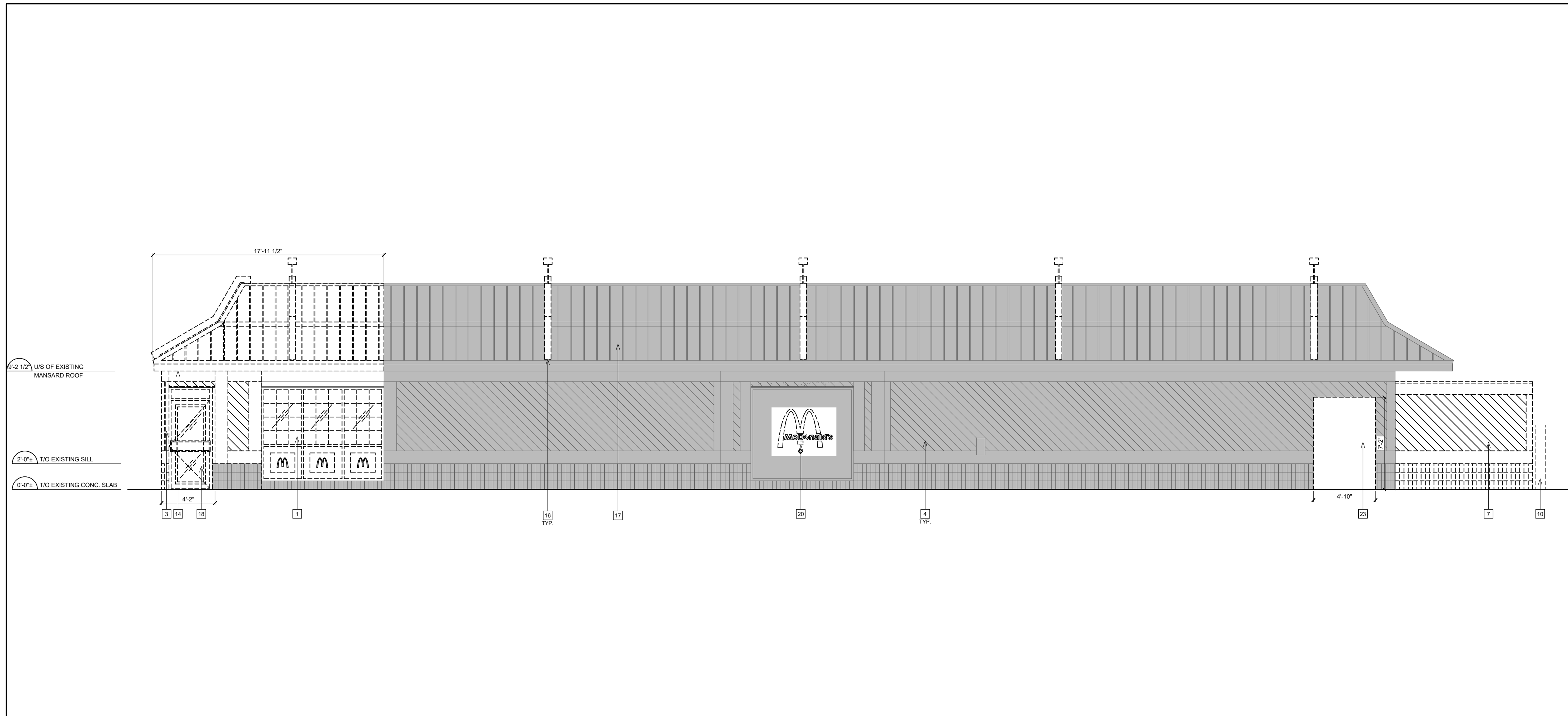
PROJECT LOCATION
520 GOVERNMENT STREET
DRYDEN, ONTARIO

DRAWING TITLE
EXTERIOR ELEVATIONS (DEMOLITION)

DRAWN	CHECKED
JS	KI PV JR

SCALE
3/16" = 1'-0" DATE
NOVEMBER 2024

RPA PROJECT NO.
2408150 DRAWING NO.
A5.0



- ### EXTERIOR ELEVATION NOTES (DEMO)
- EXISTING EXTERIOR DOOR, HARDWARE, STOREFRONT WINDOWS AND GLAZING TO BE REMOVED PATCH AND REPAIR AS REQUIRED TO ACCEPT NEW FINISHES.
 - EXISTING SPANDREL WINDOW AND FRAME TO BE REMOVED AND DEMOLISHED. PATCH AND REPAIR TO ACCEPT NEW ENTRANCE DOOR AND WINDOWS. REFER TO NEW FLOOR PLAN AND WINDOW DOOR SCHEDULE.
 - EXTENT OF EXISTING EXTERIOR WALL TO BE REMOVED AND DEMOLISHED IN ORDER TO ACCOMMODATE NEW ADDITION. PROVIDE TEMPORARY SHORING TO FACILITATE NEW CONSTRUCTION AND PATCH AND REPAIR ADJACENT WALLS TO ACCEPT NEW CONSTRUCTION.
 - SOLID HATCHED AREA DENOTES AREA NOT IN SCOPE.
 - EXISTING GAS METER TO REMAIN AND BE FULLY PROTECTED DURING CONSTRUCTION.
 - EXISTING MCDONALDS SIGNAGE TO BE REMOVED.
 - EXISTING WALL SURROUNDING FREEZER BOX TO BE DEMOLISHED AND DISPOSED OF. EXCAVATE DOWN TO REMOVE EXISTING CONCRETE SLAB AND FOUNDATIONS. REFER TO PROPOSED ELEVATIONS AND STRUCTURAL DRAWINGS.
 - N/A.
 - EXISTING WINDOW GLAZING TO BE REMOVED. DISPOSED AND REPLACED WITH NEW SPANDREL PANEL CW INSULATED BACK PAN. REFER TO WINDOW SCHEDULE.
 - EXISTING BOLLARD TO BE REMOVED TO ACCOMMODATE NEW CONCRETE SLAB FOR NEW COOLER AND FREEZER WALK-IN BOX. REFER SITE PLAN AND PROPOSED ELEVATIONS.
 - EXISTING SILL TO BE SAW CUT, REMOVED AND DEMOLISHED TO ACCOMMODATE NEW DOOR. PATCH AND REPAIR AS REQUIRED.
 - DASHED LINE DENOTES EXISTING CANOPY TO BE REMOVED AND DEMOLISHED. PATCH AND REPAIR AS REQUIRED.
 - EXISTING WALL LIGHT TO BE REMOVED AND DEMOLISHED.
 - EXISTING MANSARD ROOF TO BE TRIMMED BACK TO ACCOMMODATE NEW FEATURE TOWER. REFER TO PROPOSED ELEVATIONS.
 - EXISTING COIN BOX TO REMAIN.
 - EXISTING LIGHTS TO BE REMOVED AND DISPOSED OF. EXISTING METAL MANSARD ROOF AS REQUIRED AND MAKE IT WEATHER TIGHT BEFORE PAINTING.
 - EXISTING RED METAL CLADDING AT MANSARD ROOF TO BE RE-PAINTED EPT2. REFER TO EXTERIOR FINISH SCHEDULE.
 - EXISTING DOOR AND FRAME TO BE REMOVED AND DEMOLISHED. PATCH AND REPAIR AND OPENING TO BE IN-FILLED (MATCH EXISTING CONSTRUCTION AND NEW FINISHES TO MATCH ADJACENT FINISHES).
 - EXISTING EXTERIOR CLADDING TO BE STRIPPED BACK TO EXISTING MAIN WALL SHEATHING. PROVIDE NEW AIR BARRIER REFER TO NEW FLOOR PLAN, WALL TYPE SCHEDULES AND PROPOSED EXTERIOR ELEVATIONS FOR NEW EXTERIOR FINISHES.
 - EXISTING GRAPHIC TO BE REMOVED AND DISPOSED OF. PATCH AND REPAIR IF REQUIRED.
 - EXISTING DECORATIVE PANEL TO BE REMOVED AND DEMOLISHED. PATCH AND REPAIR AS REQUIRED.
 - EXISTING METAL ROOF AT MANSARD CW ALL FRAMING TO BE REMOVED AND DEMOLISHED. CONTRACTOR TO SALVAGE PART OF METAL ROOF IN ORDER TO PATCH AND REPAIR MANSARD ROOF AT CUT OUTS.
 - EXISTING EXTERIOR WALL TO BE SAW CUT AND REMOVED IN ORDER TO PROVIDE NEW OPENING FOR RECEIVING DOOR. PROVIDE AND INSTALL NEW LINTEL AT OPENING. REFER TO PROPOSED EXTERIOR ELEVATIONS AND STRUCTURAL DRAWINGS.
 - EXISTING WOOD FENCE SIGNS TO BE REMOVED AND DEMOLISHED. EXISTING FRAMING TO REMAIN. PATCH AND REPAIR FRAMING TO ACCEPT NEW FENCE BOARDS.

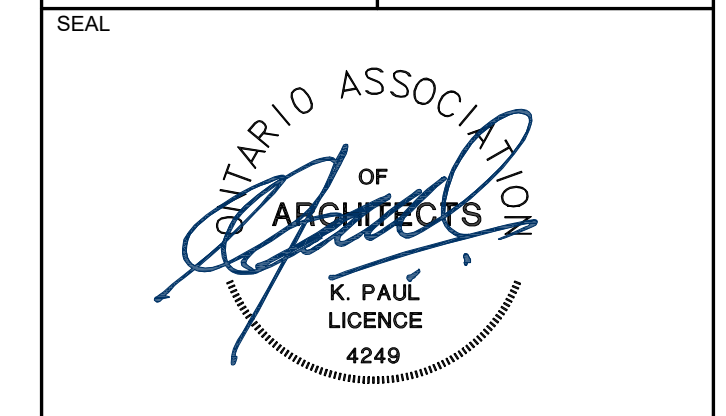
- ### GENERAL NOTES (EXTERIOR)
- ALL EXISTING PARAPETS, CAP FLASHING, METAL ROOFING, CANOPIES, ROOF LADDER, GAS METER, EXTERIOR WALL SIGNAGE, WALL PACKS LIGHTS, EAVES TROUGH DOWNPOUTS, SIGNAGE, WINDOWS GLAZING, DOOR FRAMES AND EXTERIOR CLADDING MATERIALS TO REMAIN. REFER TO DEMO AND PROPOSED ELEVATION NOTES FOR EXTENT OF WORK. ALL ELEMENTS TO BE PROTECTED FROM NEW CONSTRUCTION.
 - ALL DEBRIS CAUSED BY NEW CONSTRUCTION ON SITE, TO BE REMOVED AFTER COMPLETION OF WORK.

ISSUE TABLE

NO.	DATE (MM-DD-YY)	DESCRIPTION
01	11-11-24	ISSUED FOR DEVELOPMENT PERMIT

REVISIONS

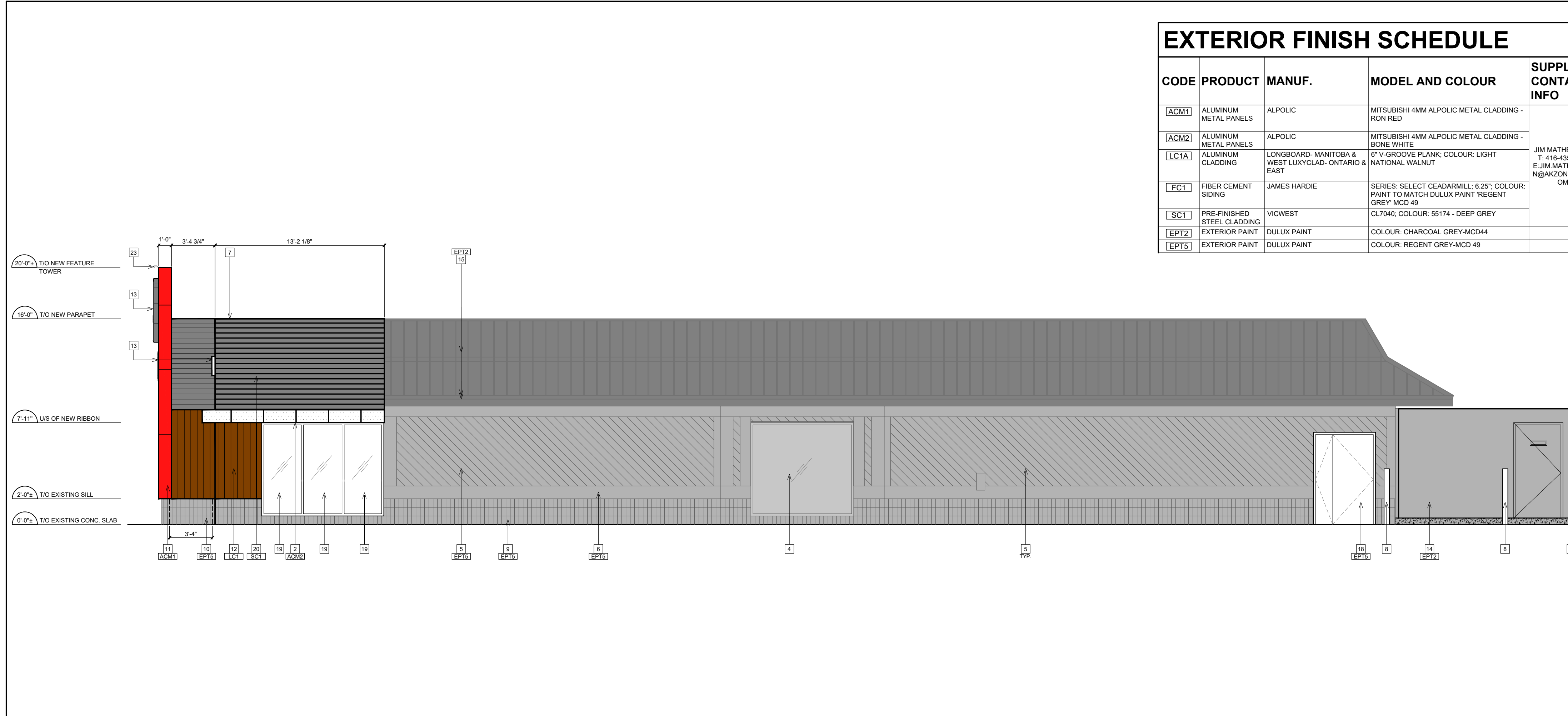
NO.	DATE	DESCRIPTION
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THE CONTRACTOR WILL CHECK AND VERIFY DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO THE DESIGNER AND THE DESIGN PROFESSIONAL WHOSE SEAL IS AFFIXED TO THIS DRAWING. DO NOT SCALE THE DRAWINGS.

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1 DEMO WEST ELEVATION
SCALE: 3/16" = 1'-0"



EXTERIOR FINISH SCHEDULE

CODE	PRODUCT	MANUF.	MODEL AND COLOUR	SUPPLIER CONTACT INFO
ACM1	ALUMINUM METAL PANELS	ALPOLIC	MITSUBISHI 4MM ALPOLIC METAL CLADDING - RON RED	JIM MATHEWSON T: 416-435-6304 E: JIM.MATHEWSON@KPAULARCHITECT.COM
ACM2	ALUMINUM METAL PANELS	ALPOLIC	MITSUBISHI 4MM ALPOLIC METAL CLADDING - BONE WHITE	
LC1A	ALUMINUM CLADDING	LONGBOARD - MANITOBA & WEST LUXGLAD - ONTARIO & EAST	6" V-GROOVE PLANK; COLOUR: LIGHT NATIONAL WALNUT	
FC1	FIBER CEMENT SIDING	JAMES HARDIE	SERIES: SELECT CEADARMILL; 6.25"; COLOUR: PAINT TO MATCH DULUX PAINT 'REGENT GREY' MCD 49	
SC1	PRE-FINISHED STEEL CLADDING	VICWEST	CL7040; COLOUR: S5174 - DEEP GREY	
EPT2	EXTERIOR PAINT	DULUX PAINT	COLOUR: CHARCOAL GREY-MCD44	
EPT5	EXTERIOR PAINT	DULUX PAINT	COLOUR: REGENT GREY-MCD 49	

- ### EXTERIOR ELEVATION NOTES (PROPOSED)
- PROVIDE NEW SPANDREL GLASS CW INSULATED BACK PAN. FACTORY APPLIED; COLOUR TO MATCH #320 HARMONY GRAY. REFER TO DOOR & WINDOW SCHEDULE.
 - PROVIDE AND INSTALL NEW RIBBON/EYEBROW. REFER TO WALL SECTIONS AND STRUCTURAL DRAWINGS.
 - NEW EXTERIOR STOREFRONT ALUMINUM DOOR AND FRAME. FRAME FINISH TO MATCH EXISTING WINDOWS. REFER TO DOOR AND WINDOW SCHEDULE.
 - HATCHED AREA DENOTES AREA NOT IN SCOPE.
 - RE-PAINT EXISTING DIAGONAL SIDING REGENT GREY. REFER TO EXTERIOR FINISH SCHEDULE. PATCH AND REPAIR AS REQUIRED.
 - RE-PAINT EXISTING SIDING REGENT GREY. REFER TO EXTERIOR FINISH SCHEDULE. PATCH AND REPAIRS REQUIRED.
 - NEW METAL FLASHING TO COLOUR MATCH ADJACENT. REFER TO EXTERIOR FINISH SCHEDULE.
 - NEW BOLLARDS. REFER TO SITE DETAILS.
 - RE-PAINT EXISTING STONE REGENT GREY. REFER TO EXTERIOR FINISH SCHEDULE. PATCH AND REPAIRS REQUIRED.
 - NEW STONE BASE TO MATCH ADJACENT. REFER TO EXTERIOR FINISH SCHEDULE.
 - NEW FEATURE TOWER COMPLETE WITH RED ALPOLIC ACM PANEL SYSTEM. REFER TO WALL SECTIONS, STRUCTURAL DRAWINGS AND EXTERIOR FINISH SCHEDULE.
 - NEW FIBER CEMENT SIDING. REFER TO EXTERIOR FINISH SCHEDULE. WALL TYPE LEGEND AND WALL SECTIONS.
 - NEW MCDONALDS SIGNAGE. (BY SIGN COMPANY) CONTRACTOR TO PROVIDE AND INSTALL ADEQUATE PLYWOOD BACKING/ BLOCKING FOR INSTALLATION OF SIGNAGE. CONTRACTOR TO COORDINATE WITH SIGN SUPPLIER/INSTALLER.
 - NEW EXTERIOR WALK-IN BOX ON NEW CONCRETE PAD. REFER TO STRUCTURAL DRAWINGS FOR NEW PAD AND FOUNDATIONS AND WALL SECTIONS FOR DE TABLE WALK-IN BOX PANELS TO BE PRE-FINISHED COLOR: CHARCOAL GREY. REFER TO EXTERIOR FINISH SCHEDULE. NOTE: IF PANELS DON'T COME PRE-FINISHED AS CHARCOAL GRAY THEN CONTRACTOR TO PROVIDE PAINT FINISH TO MATCH SC1 (REFER TO EXTERIOR FINISH SCHEDULE).
 - EXISTING MANSARD ROOF TO BE RE-PAINTED CHARCOAL GREY. REFER TO EXTERIOR FINISH SCHEDULE. PATCH AND REPAIR AS REQUIRED.
 - N/A.
 - NEW PUSH OPERATOR FOR ENTRANCE DOOR (INSTALLED AT 900mm - 1100mm ON CENTER). REFER TO ELECTRICAL DRAWINGS.
 - NEW DOOR FOR DELIVERY. REFER TO DOOR SCHEDULE AND EXTERIOR FINISH SCHEDULE FOR COLOUR.
 - NEW WINDOW FRAME AND GLAZING. REFER TO WINDOW SCHEDULE.
 - PRE-FINISHED STEEL SIDING. REFER TO EXTERIOR FINISH SCHEDULE. WALL TYPE LEGEND AND WALL SECTIONS.
 - RE-PAINT EXISTING ROOF LADDER CHARCOAL GREY. REFER TO EXTERIOR FINISH SCHEDULE.
 - NEW WOOD FENCE BOARD ON EXISTING FRAMING. TO BE PAINTED CHARCOAL GREY TO MATCH MANSARD ROOF. REFER TO EXTERIOR FINISH SCHEDULE.
 - EXTERIOR LIGHT FIXTURE LOCATED ON BLADE FEATURE. REFER TO ELECTRICAL DRAWINGS.
 - NEW BOAP DOOR. REFER TO NEW FLOOR PLAN AND DOOR SCHEDULE.
 - NEW WINDOW AND FRAME CW NEW 3M FILM TO BE APPLIED ON INSIDE OF EXTERIOR GLAZING. REFER TO WINDOW SCHEDULE.

- ### SIGNAGE NOTES
- COORDINATE THE INSTALLATION OF SIGNAGE WITH THE FOLLOWING TRADES:
- SIGNAGE CONTRACTOR FOR SIGNAGE ANCHOR POINTS AND POWER INPUT LOCATION
 - ELECTRICAL CONTRACTOR FOR POWER LOCATION
 - FRAMING CONTRACTOR FOR REQUIRED PLYWOOD BACKING AT SIGNAGE ANCHOR POINTS
 - ACM PANEL INSTALLER FOR PLYWOOD BACKING INTERFERENCE WITH PANEL SPLINES AND POWER LOCATION


2 PROPOSED WEST ELEVATION
SCALE: 3/16" = 1'-0"

ISSUED FOR CONSTRUCTION DATE

DIMENSIONS AND CONDITIONS TO BE VERIFIED ON THE PREMISES



2660 Sherwood Heights Dr, Suite 200, Oakville, Ontario, L6J 7Y8
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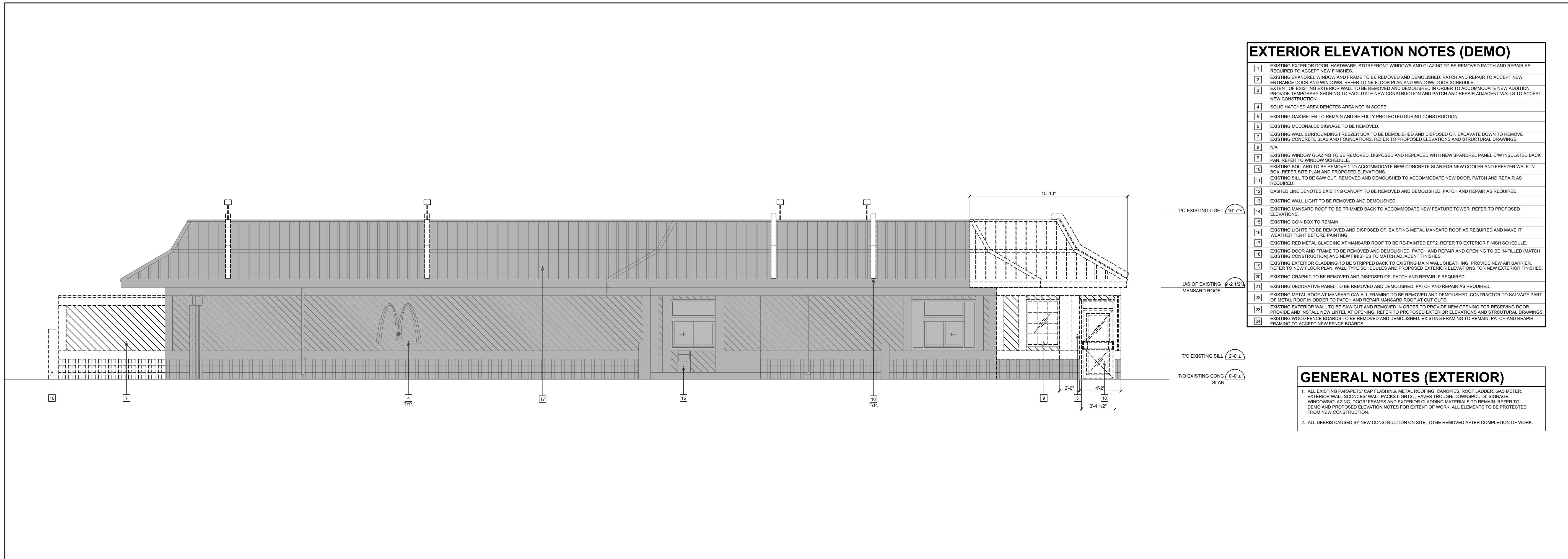
STORE TYPE
RENOVATION AND ADDITION
 (4279.3 SQ.FT.)
 NAT. #7027

PROJECT LOCATION
520 GOVERNMENT STREET
 DRYDEN, ONTARIO

DRAWING TITLE

EXTERIOR ELEVATIONS (DEMOLITION)

DRAWN	CHECKED
JS	KI PV JR
SCALE	DATE
3/16" = 1'-0"	NOVEMBER 2024
RPA PROJECT NO.	DRAWING NO.
2408150	A5.1



- ### EXTERIOR ELEVATION NOTES (DEMO)
- EXISTING EXTERIOR DOOR, HARDWARE, STOREFRONT WINDOWS AND GLAZING TO BE REMOVED PATCH AND REPAIR AS REQUIRED TO ACCEPT NEW FINISHES.
 - EXISTING SPANDREL WINDOW AND FRAME TO BE REMOVED AND DEMOLISHED. PATCH AND REPAIR TO ACCEPT NEW ENTRANCE DOOR AND WINDOWS. REFER TO FLOOR PLAN AND WINDOW DOOR SCHEDULE.
 - EXTENT OF EXISTING EXTERIOR WALL TO BE REMOVED AND DEMOLISHED IN ORDER TO ACCOMMODATE NEW ADDITION. PROVIDE TEMPORARY SHORING TO FACILITATE NEW CONSTRUCTION AND PATCH AND REPAIR ADJACENT WALLS TO ACCEPT NEW CONSTRUCTION.
 - SOLID HATCHED AREA DENOTES AREA NOT IN SCOPE.
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 - EXISTING MCDONALDS SIGNAGE TO BE REMOVED.
 - EXISTING WALL SURROUNDING FREEZER BOX TO BE DEMOLISHED AND DISPOSED OF. EXCAVATE DOWN TO REMOVE EXISTING CONCRETE SLAB AND FOUNDATIONS. REFER TO PROPOSED ELEVATIONS AND STRUCTURAL DRAWINGS.
 - N/A.
 - EXISTING WINDOW GLAZING TO BE REMOVED. DISPOSED AND REPLACED WITH NEW SPANDREL PANEL CW INSULATED BACK PAN. REFER TO WINDOW SCHEDULE.
 - EXISTING BOLLARD TO BE REMOVED TO ACCOMMODATE NEW CONCRETE SLAB FOR NEW COOLER AND FREEZER WALK-IN BOX. REFER SITE PLAN AND PROPOSED ELEVATIONS.
 - EXISTING SILL TO BE SAW CUT, REMOVED AND DEMOLISHED TO ACCOMMODATE NEW DOOR. PATCH AND REPAIR AS REQUIRED.
 - DASHED LINE DENOTES EXISTING CANOPY TO BE REMOVED AND DEMOLISHED. PATCH AND REPAIR AS REQUIRED.
 - EXISTING WALL LIGHT TO BE REMOVED AND DEMOLISHED.
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 - EXISTING COIN BOX TO REMAIN.
 - EXISTING LIGHTS TO BE REMOVED AND DISPOSED OF. EXISTING METAL MANSARD ROOF AS REQUIRED AND MAKE IT WEATHER TIGHT BEFORE PAINTING.
 - EXISTING RED METAL CLADDING AT MANSARD ROOF TO BE RE-PAINTED EPT2. REFER TO EXTERIOR FINISH SCHEDULE.
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 - EXISTING EXTERIOR CLADDING TO BE STRIPPED BACK TO EXISTING MAIN WALL SHEATHING. PROVIDE NEW AIR BARRIER REFER TO NEW FLOOR PLAN WALL TYPE SCHEDULES AND PROPOSED EXTERIOR ELEVATIONS FOR NEW EXTERIOR FINISHES.
 - EXISTING GRAPHIC TO BE REMOVED AND DISPOSED OF. PATCH AND REPAIR IF REQUIRED.
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- ### GENERAL NOTES (EXTERIOR)
- ALL EXISTING PARAPETS: CAP FLASHING, METAL ROOFING, CANPIRES, ROOF LADDER, GAS METER, EXTERIOR WALL SIGNAGE, WALL PACKS LIGHTS, EAVES TROUGH DOWNROUTS, SIGNAGE, WINDOWS GLAZING, DOOR FRAMES AND EXTERIOR CLADDING MATERIALS TO REMAIN. REFER TO DEMO AND PROPOSED ELEVATION NOTES FOR EXTENT OF WORK. ALL ELEMENTS TO BE PROTECTED FROM NEW CONSTRUCTION.
 - ALL DEBRIS CAUSED BY NEW CONSTRUCTION ON SITE, TO BE REMOVED AFTER COMPLETION OF WORK.

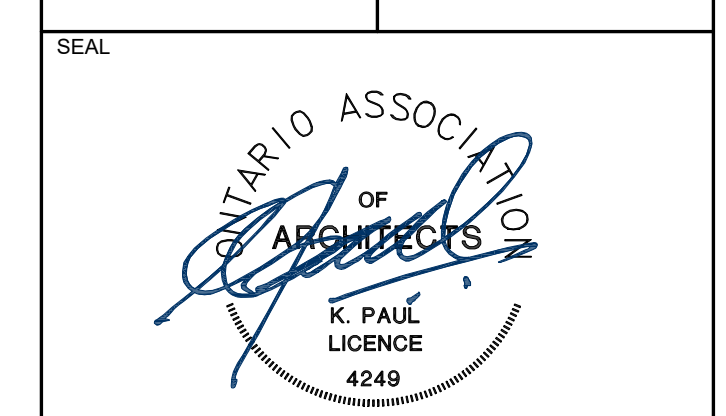
1 DEMO EAST ELEVATION
SCALE: 3/16" = 1'-0"

ISSUE TABLE

NO.	DATE (MM-DD-YY)	DESCRIPTION
01	11-11-24	ISSUED FOR DEVELOPMENT PERMIT

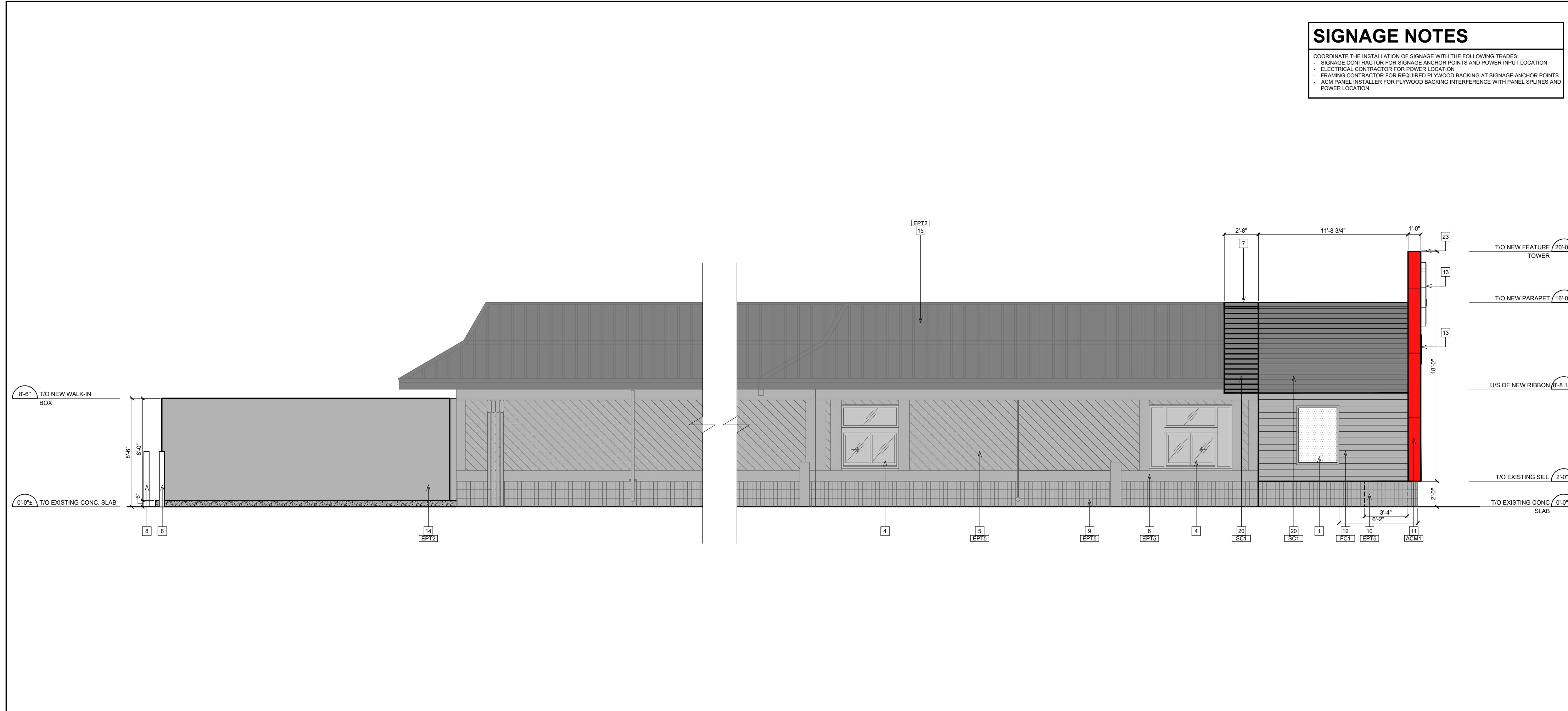
REVISIONS

NO.	DATE	DESCRIPTION
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- ### SIGNAGE NOTES
- COORDINATE THE INSTALLATION OF SIGNAGE WITH THE FOLLOWING TRADES:
- SIGNAGE CONTRACTOR FOR SIGNAGE ANCHOR POINTS AND POWER INPUT LOCATION
 - ELECTRICAL CONTRACTOR FOR POWER LOCATION
 - FRAMING CONTRACTOR FOR REQUIRED PLYWOOD BACKING AT SIGNAGE ANCHOR POINTS
 - ACM PANELS, INSTALLER FOR PLYWOOD BACKING INTERFERENCE WITH PANEL SPINES AND POWER LOCATION

- ### EXTERIOR ELEVATION NOTES (PROPOSED)
- PROVIDE NEW SPANDREL GLASS CW INSULATED BACK PAN. FACTORY APPLIED; COLOUR TO MATCH #320 HARMONY GRAY. REFER TO DOOR & WINDOW SCHEDULE.
 - PROVIDE AND INSTALL NEW RIBBON/YELLOW. REFER TO WALL SECTIONS AND STRUCTURAL DRAWINGS.
 - NEW EXTERIOR STOREFRONT ALUMINUM DOOR AND FRAME. FRAME FINISH TO MATCH EXISTING WINDOWS. REFER TO DOOR AND WINDOW SCHEDULE.
 - HATCHED AREA DENOTES AREA NOT IN SCOPE.
 - RE-PAINT EXISTING DIAGONAL SIDING REGENT GREY. REFER TO EXTERIOR FINISH SCHEDULE. PATCH AND REPAIR AS REQUIRED.
 - RE-PAINT EXISTING SIDING REGENT GREY. REFER TO EXTERIOR FINISH SCHEDULE. PATCH AND REPAIR AS REQUIRED.
 - NEW METAL FLASHING TO COLOUR MATCH ADJACENT. REFER TO EXTERIOR FINISH SCHEDULE.
 - NEW BOLLARDS. REFER TO SITE DETAILS.
 - RE-PAINT EXISTING STONE REGENT GREY. REFER TO EXTERIOR FINISH SCHEDULE. PATCH AND REPAIR AS REQUIRED.
 - NEW STONE BASE TO MATCH ADJACENT. REFER TO EXTERIOR FINISH SCHEDULE.
 - NEW FEATURE TOWER COMPLETE WITH RED ALPOLIC ACM PANEL SYSTEM. REFER TO WALL SECTIONS, STRUCTURAL DRAWINGS AND EXTERIOR FINISH SCHEDULE.
 - NEW FIBER CEMENT SIDING. REFER TO EXTERIOR FINISH SCHEDULE, WALL TYPE LEGEND AND WALL SECTIONS.
 - NEW MCDONALDS SIGNAGE, (BY SIGN COMPANY) CONTRACTOR TO PROVIDE AND INSTALL ADEQUATE PLYWOOD BACKING/BLU-GROOVE FOR INSTALLATION OF SIGNAGE. CONTRACTOR TO COORDINATE WITH SIGN SUPPLIER/INSTALLER.
 - NEW EXTERIOR WALK-IN BOX TO BE CONCRETE. REFER TO STRUCTURAL DRAWINGS FOR NEW PAD AND FOUNDATIONS AND WALL SECTIONS FOR DE TABLE WALK-IN BOX PANELS TO BE PRE-FINISHED COLOR: CHARCOAL GREY. REFER TO EXTERIOR FINISH SCHEDULE. NOTE: IF PANELS DON'T COME PRE-FINISHED AS CHARCOAL GRAY THEN CONTRACTOR TO PROVIDE PAINT FINISH TO MATCH SC1 (REFER TO EXTERIOR FINISH SCHEDULE).
 - EXISTING MANSARD ROOF TO BE RE-PAINTED CHARCOAL GREY. REFER TO EXTERIOR FINISH SCHEDULE. PATCH AND REPAIR AS REQUIRED.
 - N/A.
 - NEW PUSH OPERATOR FOR ENTRANCE DOOR (INSTALLED AT 800mm - 1100mm ON CENTER). REFER TO ELECTRICAL DRAWINGS.
 - NEW DOOR FOR DELIVERY. REFER TO DOOR SCHEDULE AND EXTERIOR FINISH SCHEDULE FOR COLOUR.
 - NEW WINDOW FRAME AND GLAZING. REFER TO WINDOW SCHEDULE.
 - PRE-FINISHED STEEL SIDING. REFER TO EXTERIOR FINISH SCHEDULE, WALL TYPE LEGEND AND WALL SECTIONS.
 - RE-PAINT EXISTING ROOF LADDER CHARCOAL GREY. REFER TO EXTERIOR FINISH SCHEDULE.
 - NEW WOOD FENCE BOARD ON EXISTING FRAMING. TO BE PAINTED CHARCOAL GREY TO MATCH MANSARD ROOF. REFER TO EXTERIOR FINISH SCHEDULE.
 - EXTERIOR LIGHT FIXTURE LOCATED ON BLADE FEATURE. REFER TO ELECTRICAL DRAWINGS.
 - NEW BOAP DOOR. REFER TO NEW FLOOR PLAN AND DOOR SCHEDULE.
 - NEW WINDOW AND FRAME CW NEW 3M FILM TO BE APPLIED ON INSIDE OF EXTERIOR GLAZING. REFER TO WINDOW SCHEDULE.

EXTERIOR FINISH SCHEDULE

CODE	PRODUCT	MANUF.	MODEL AND COLOUR	SUPPLIER CONTACT INFO
ACM1	ALUMINUM METAL PANELS	ALPOLIC	MITSUBISHI 4MM ALPOLIC METAL CLADDING - RON RED	JIM MATHEWSON T: 416-435-6304 E: JIM.MATHEWSON@AKZONOBEL.COM
ACM2	ALUMINUM METAL PANELS	ALPOLIC	MITSUBISHI 4MM ALPOLIC METAL CLADDING - BONE WHITE	
LC1	ALUMINUM CLADDING	LONGBOARD-MANITOKA & WEST LUX/CLAD-ONTARIO & EAST	6" V-GROOVE PLANK; COLOUR: LIGHT NATIONAL WALNUT	
FC1	FIBER CEMENT SIDING	JAMES HARDIE	SERIES: SELECT CEADARMILL; 6.25"; COLOUR: PAINT TO MATCH DULUX PAINT 'REGENT GREY' MCD 49	
SC1	PRE-FINISHED STEEL CLADDING	VICWEST	CL7040; COLOUR: S5174 - DEEP GREY	
EPT2	EXTERIOR PAINT	DULUX PAINT	COLOUR: CHARCOAL GREY-MCD44	
EPT5	EXTERIOR PAINT	DULUX PAINT	COLOUR: REGENT GREY-MCD 49	

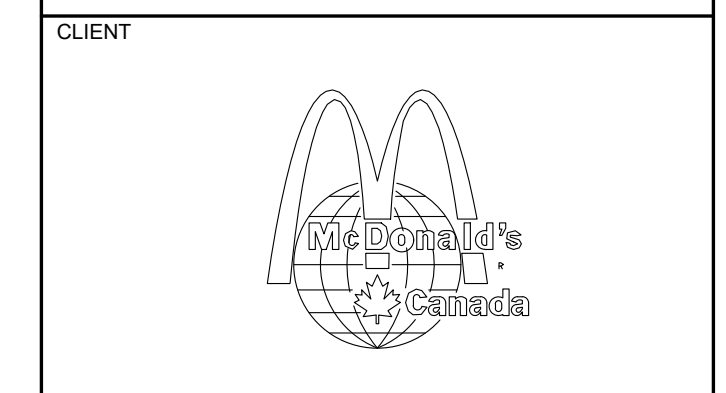
2 PROPOSED EAST ELEVATION
SCALE: 3/16" = 1'-0"

ISSUED FOR CONSTRUCTION _____ DATE _____

DIMENSIONS AND CONDITIONS TO BE VERIFIED ON THE PREMISES

K PAUL ARCHITECT INC.
TORONTO • VANCOUVER • ORLANDO

2660 Sherwood Heights Dr, Suite 200, Oakville, Ontario, L6J 7Y8
www.kpaularchitect.com
(905)337-9800 fax (905)337-1986



STORE TYPE
RENOVATION AND ADDITION (4279.3 SQ.FT.)
NAT. #7027

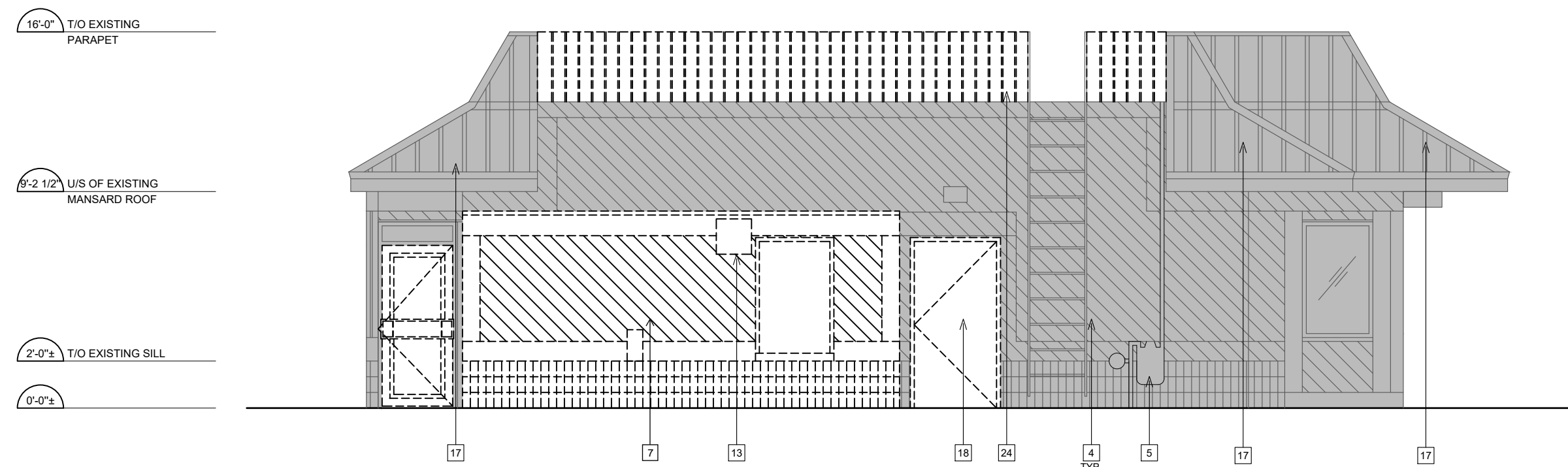
PROJECT LOCATION
520 GOVERNMENT STREET
DRYDEN, ONTARIO

DRAWING TITLE
EXTERIOR ELEVATIONS (PROPOSED)

DRAWN	CHECKED
JS	KI PV JR

SCALE: 3/16" = 1'-0" DATE: NOVEMBER 2024

RPA PROJECT NO. 2408150 DRAWING NO. A5.2



EXTERIOR ELEVATION NOTES (DEMO)

- 1 EXISTING EXTERIOR DOOR, HARDWARE, STOREFRONT WINDOWS AND GLAZING TO BE REMOVED PATCH AND REPAIR AS REQUIRED TO ACCEPT NEW FINISHES.
- 2 EXISTING SPANDREL WINDOW AND FRAME TO BE REMOVED AND DEMOLISHED. PATCH AND REPAIR TO ACCEPT NEW ENTRANCE DOOR AND WINDOWS. REFER TO NEW FLOOR PLAN AND WINDOW DOOR SCHEDULE.
- 3 EXTENT OF EXISTING EXTERIOR WALL TO BE REMOVED AND DEMOLISHED IN ORDER TO ACCOMMODATE NEW ADDITION. PROVIDE TEMPORARY SHORING TO FACILITATE NEW CONSTRUCTION AND PATCH AND REPAIR ADJACENT WALLS TO ACCEPT NEW CONSTRUCTION.
- 4 SOLID HATCHED AREA DENOTES AREA NOT IN SCOPE.
- 5 EXISTING GAS METER TO REMAIN AND BE FULLY PROTECTED DURING CONSTRUCTION.
- 6 EXISTING MCDONALD'S SIGNAGE TO BE REMOVED.
- 7 EXISTING WALL SURROUNDING FREEZER BOX TO BE DEMOLISHED AND DISPOSED OF. EXCAVATE DOWN TO REMOVE EXISTING CONCRETE SLAB AND FOUNDATIONS. REFER TO PROPOSED ELEVATIONS AND STRUCTURAL DRAWINGS.
- 8 N/A.
- 9 EXISTING WINDOW GLAZING TO BE REMOVED. DISPOSED AND REPLACED WITH NEW SPANDREL PANEL CW INSULATED BACK PAN. REFER TO WINDOW SCHEDULE.
- 10 EXISTING BOLLARD TO BE REMOVED TO ACCOMMODATE NEW CONCRETE SLAB FOR NEW COOLER AND FREEZER WALK-IN BOX. REFER SITE PLAN AND PROPOSED ELEVATIONS.
- 11 EXISTING SILL TO BE SAW CUT, REMOVED AND DEMOLISHED TO ACCOMMODATE NEW DOOR. PATCH AND REPAIR AS REQUIRED.
- 12 DASHED LINE DENOTES EXISTING CANOPY TO BE REMOVED AND DEMOLISHED. PATCH AND REPAIR AS REQUIRED.
- 13 EXISTING WALL LIGHT TO BE REMOVED AND DEMOLISHED.
- 14 EXISTING MANSARD ROOF TO BE TRIMMED BACK TO ACCOMMODATE NEW FEATURE TOWER. REFER TO PROPOSED ELEVATIONS.
- 15 EXISTING COIN BOX TO REMAIN.
- 16 EXISTING LIGHTS TO BE REMOVED AND DISPOSED OF. EXISTING METAL MANSARD ROOF AS REQUIRED AND MAKE IT WEATHER TIGHT BEFORE PAINTING.
- 17 EXISTING RED METAL CLADDING AT MANSARD ROOF TO BE RE-PAINTED EPT2. REFER TO EXTERIOR FINISH SCHEDULE.
- 18 EXISTING DOOR AND FRAME TO BE REMOVED AND DEMOLISHED. PATCH AND REPAIR AND OPENING TO BE INFILLED MATCH EXISTING CONSTRUCTION AND NEW FINISHES TO MATCH ADJACENT FINISHES.
- 19 EXISTING EXTERIOR CLADDING TO BE STRIPPED BACK TO EXISTING MAIN WALL SHEATHING. PROVIDE NEW AIR BARRIER. REFER TO NEW FLOOR PLAN, WALL TYPE SCHEDULES AND PROPOSED EXTERIOR ELEVATIONS FOR NEW EXTERIOR FINISHES.
- 20 EXISTING GRAPHIC TO BE REMOVED AND DISPOSED OF. PATCH AND REPAIR IF REQUIRED.
- 21 EXISTING DECORATIVE PANEL TO BE REMOVED AND DEMOLISHED. PATCH AND REPAIR AS REQUIRED.
- 22 EXISTING METAL ROOF AT MANSARD CW ALL FRAMING TO BE REMOVED AND DEMOLISHED. CONTRACTOR TO SALVAGE PART OF METAL ROOF IN ORDER TO PATCH AND REPAIR MANSARD ROOF AT CUT OUTS.
- 23 EXISTING EXTERIOR WALL TO BE SAW CUT AND REMOVED IN ORDER TO PROVIDE NEW OPENING FOR RECEIVING DOOR. PROVIDE AND INSTALL NEW LINTEL AT OPENING. REFER TO PROPOSED EXTERIOR ELEVATIONS AND STRUCTURAL DRAWINGS.
- 24 EXISTING WOOD FENCE SIGNS TO BE REMOVED AND DEMOLISHED. EXISTING FRAMING TO REMAIN. PATCH AND REPAIR FRAMING TO ACCEPT NEW FENCE BOARDS.

GENERAL NOTES (EXTERIOR)

- 1 ALL EXISTING PARAPETS: CAP FLASHING, METAL ROOFING, CANOPIES, ROOF LADDER, GAS METER, EXTERIOR WALL SIGNAGE, WALL PACKS, LIGHTS, EXTERIOR TROUGH DOWNPOUTS, SIDING, WINDOWS, GLAZING, DOOR FRAMES AND EXTERIOR CLADDING MATERIALS TO REMAIN. REFER TO DEMO AND PROPOSED ELEVATION NOTES FOR EXTENT OF WORK. ALL ELEMENTS TO BE PROTECTED FROM NEW CONSTRUCTION.
- 2 ALL DEBRIS CAUSED BY NEW CONSTRUCTION ON SITE, TO BE REMOVED AFTER COMPLETION OF WORK.

1 DEMO SOUTH ELEVATION

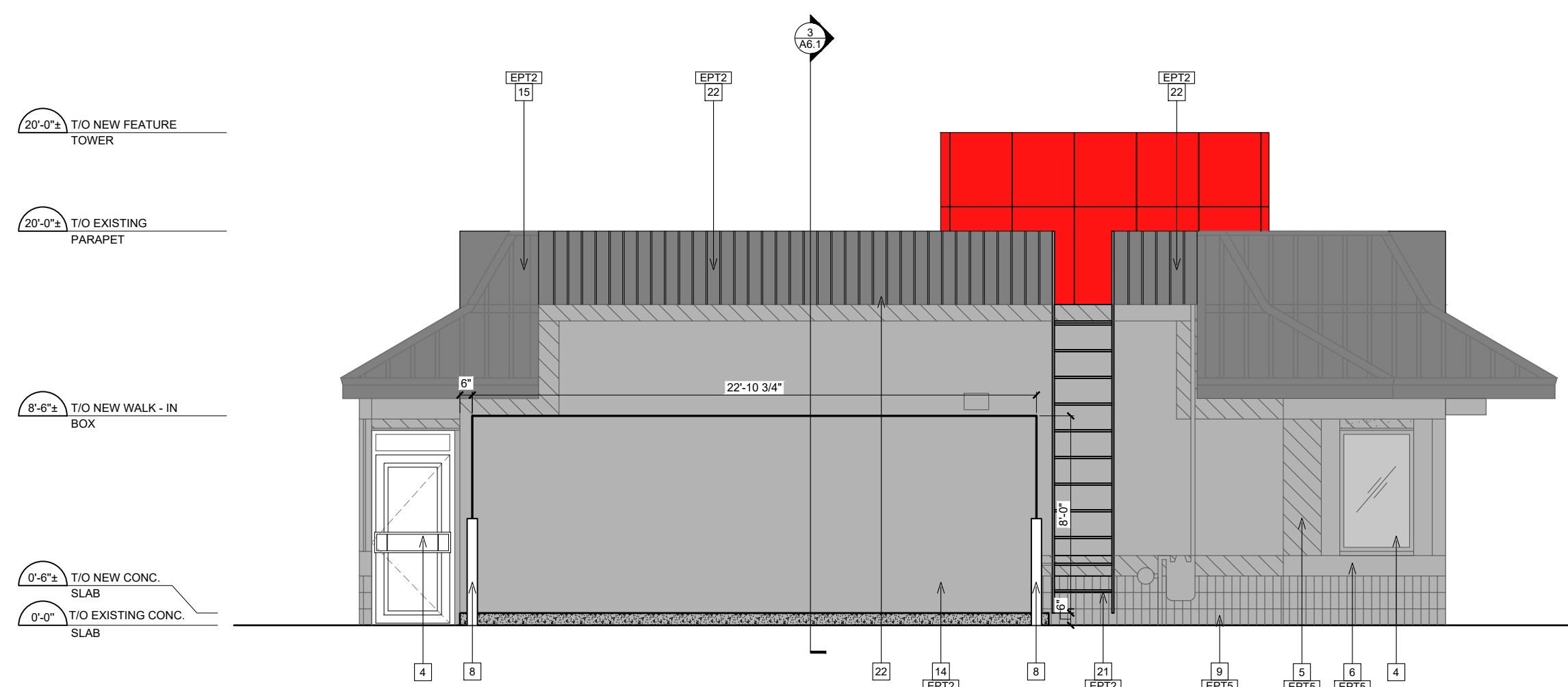
A5.3 SCALE: 3/16" = 1'-0"

SIGNAGE NOTES

- COORDINATE THE INSTALLATION OF SIGNAGE WITH THE FOLLOWING TRADES:
- SIGNAGE CONTRACTOR FOR SIGNAGE ANCHOR POINTS AND POWER INPUT LOCATION
 - ELECTRICAL CONTRACTOR FOR POWER LOCATION
 - FRAMING CONTRACTOR FOR REQUIRED PLYWOOD BACKING AT SIGNAGE ANCHOR POINTS
 - ACM PANEL INSTALLER FOR PLYWOOD BACKING INTERFERENCE WITH PANEL, SPLINES AND POWER LOCATION

EXTERIOR ELEVATION NOTES (PROPOSED)

- 1 PROVIDE NEW SPANDREL GLASS CW INSULATED BACK PAN, FACTORY APPLIED, COLOUR TO MATCH #3420 HARMONY GRAY. REFER TO DOOR & WINDOW SCHEDULE.
- 2 PROVIDE AND INSTALL NEW FIBER CEMENT SIDING. REFER TO WALL SECTIONS AND STRUCTURAL DRAWINGS.
- 3 NEW EXTERIOR STOREFRONT ALUMINUM DOOR AND FRAME. FRAME FINISH TO MATCH EXISTING WINDOWS. REFER TO DOOR AND WINDOW SCHEDULE.
- 4 HATCHED AREA DENOTES AREA NOT IN SCOPE.
- 5 RE-PAIN EXISTING DIAGONAL SIDING REGENT GREY. REFER TO EXTERIOR FINISH SCHEDULE. PATCH AND REPAIR AS REQUIRED.
- 6 RE-PAIN EXISTING SIDING REGENT GREY. REFER TO EXTERIOR FINISH SCHEDULE. PATCH AND REPAIR AS REQUIRED.
- 7 NEW METAL FLASHING TO COLOUR MATCH ADJACENT. REFER TO EXTERIOR FINISH SCHEDULE.
- 8 NEW BOLLARDS. REFER TO SITE DETAILS.
- 9 RE-PAIN EXISTING STONE REGENT GREY. REFER TO EXTERIOR FINISH SCHEDULE. PATCH AND REPAIR AS REQUIRED.
- 10 NEW STONE BASE TO MATCH ADJACENT. REFER TO EXTERIOR FINISH SCHEDULE.
- 11 NEW FEATURE TOWER COMPLETE WITH RED ALPOLIC ACM PANEL SYSTEM. REFER TO WALL SECTIONS, STRUCTURAL DRAWINGS AND EXTERIOR FINISH SCHEDULE.
- 12 NEW FIBER CEMENT SIDING. REFER TO EXTERIOR FINISH SCHEDULE, WALL TYPE LEGEND AND WALL SECTIONS.
- 13 NEW MCDONALD'S SIGNAGE, BY SIGN COMPANY, CONTRACTOR TO PROVIDE AND INSTALL ADEQUATE PLYWOOD BACKING/ BLOCKING FOR INSTALLATION OF SIGNAGE. CONTRACTOR TO COORDINATE WITH SIGN SUPPLIER/INSTALLER.
- 14 NEW EXTERIOR WALK-IN BOX ON NEW CONCRETE PAD. REFER TO STRUCTURAL DRAWINGS FOR NEW PAD AND FOUNDATIONS AND WALL SECTIONS FOR DETAILS WALK-IN BOX PANELS TO BE PRE-FINISHED COLOR CHARCOAL GREY. REFER TO EXTERIOR FINISH SCHEDULE. NOTE: IF PANELS DON'T COME PRE-FINISHED AS CHARCOAL GREY THEN CONTRACTOR TO PROVIDE PAINT FINISH TO MATCH (SEE REFER TO EXTERIOR FINISH SCHEDULE).
- 15 EXISTING MANSARD ROOF TO BE RE-PAINTED CHARCOAL GREY. REFER TO EXTERIOR FINISH SCHEDULE. PATCH AND REPAIR AS REQUIRED.
- 16 N/A.
- 17 NEW PUSH OPERATOR FOR ENTRANCE DOOR (INSTALLED AT 900mm - 1100mm ON CENTER). REFER TO ELECTRICAL DRAWINGS.
- 18 NEW DOOR FOR DELIVERY. REFER TO DOOR SCHEDULE AND EXTERIOR FINISH SCHEDULE FOR COLOUR.
- 19 NEW WINDOW FRAME AND GLAZING. REFER TO WINDOW SCHEDULE.
- 20 PRE-FINISHED STEEL SIDING. REFER TO EXTERIOR FINISH SCHEDULE, WALL TYPE LEGEND AND WALL SECTIONS.
- 21 RE-PAIN EXISTING ROOF LADDER CHARCOAL GREY. REFER TO EXTERIOR FINISH SCHEDULE.
- 22 NEW WOOD FENCE BOARD ON EXISTING FRAMING. TO BE PAINTED CHARCOAL GREY TO MATCH MANSARD ROOF. REFER TO EXTERIOR FINISH SCHEDULE.
- 23 EXTERIOR LIGHT FIXTURE LOCATED ON BLADE FEATURE. REFER TO ELECTRICAL DRAWINGS.
- 24 NEW BD4P DOOR. REFER TO NEW FLOOR PLAN AND DOOR SCHEDULE.
- 25 NEW WINDOW AND FRAME CW NEW 3M FILM TO BE APPLIED ON INSIDE OF EXTERIOR GLAZING. REFER TO WINDOW SCHEDULE.



EXTERIOR FINISH SCHEDULE

CODE	PRODUCT	MANUF.	MODEL AND COLOUR	SUPPLIER CONTACT INFO
ACM1	ALUMINUM METAL PANELS	ALPOLIC	MITSUBISHI 4MM ALPOLIC METAL CLADDING - RON RED	JIM MATHEWSON T: 416-435-6304 E: JIM.MATHEWSON@AKZONOBEL.COM
ACM2	ALUMINUM METAL PANELS	ALPOLIC	MITSUBISHI 4MM ALPOLIC METAL CLADDING - BONE WHITE	
LC1	ALUMINUM CLADDING	LONGBOARD-MANITOBA & WEST LUX CLAD-ONTARIO & EAST	6 1/4" GROOVE PLANK, COLOUR: LIGHT NATIONAL WALNUT	
FC1	FIBER CEMENT SIDING	JAMES HARDIE	SERIES: SELECT CEADARMILL, 6.25", COLOUR: PAINT TO MATCH DULUX PAINT 'REGENT GREY MCD 49	
SC1	PRE-FINISHED STEEL CLADDING	VICWEST	CL7040, COLOUR: S5174 - DEEP GREY	
EPT2	EXTERIOR PAINT	DULUX PAINT	COLOUR: CHARCOAL GREY-MCD44	
EPT5	EXTERIOR PAINT	DULUX PAINT	COLOUR: REGENT GREY-MCD 49	

2 PROPOSED SOUTH ELEVATION

A5.3 SCALE: 3/16" = 1'-0"

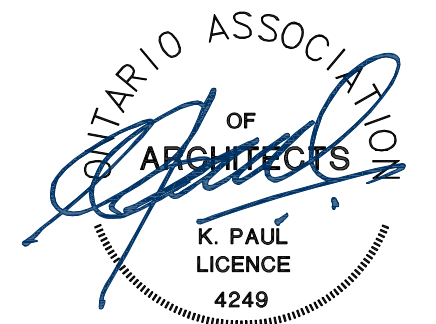
ISSUE TABLE

NO.	DATE (MM-DD-YY)	DESCRIPTION
01	11-11-24	ISSUED FOR DEVELOPMENT PERMIT

REVISIONS

NO.	DATE (MM-DD-YY)	DESCRIPTION

SEAL



THE CONTRACTOR WILL CHECK AND VERIFY DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO THE DESIGNER AND THE DESIGN PROFESSIONAL WHOSE SEAL IS AFFIXED TO THIS DRAWING. DO NOT SCALE THE DRAWINGS.

THIS DRAWING WILL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR CONSTRUCTION BY THE DESIGN PROFESSIONAL WHOSE SEAL IS AFFIXED TO THIS DRAWING AND WHOSE SIGNATURE IS BELOW.

ISSUED FOR CONSTRUCTION DATE

DIMENSIONS AND CONDITIONS TO BE VERIFIED ON THE PREMISES



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CLIENT



STORE TYPE

RENOVATION AND ADDITION
(4279.3 SQ.FT.)
NAT. #7027

PROJECT LOCATION
520 GOVERNMENT STREET
DRYDEN, ONTARIO

DRAWING TITLE

EXTERIOR ELEVATIONS (PROPOSED)

DRAWN JS CHECKED KI PV JR

SCALE 3/16" = 1'-0" DATE NOVEMBER 2024

RPA PROJECT NO. 2408150 DRAWING NO. A5.3